

# SITE PLAN

## 9 ROUTE 103 WEST

**ASSESSOR'S MAP 35 LOTS 4-1 & 4-2**

**WARNER, NH 03278**

**DATE: MAY 06, 2020**

**REV: JULY 10, 2020**

PREPARED FOR:

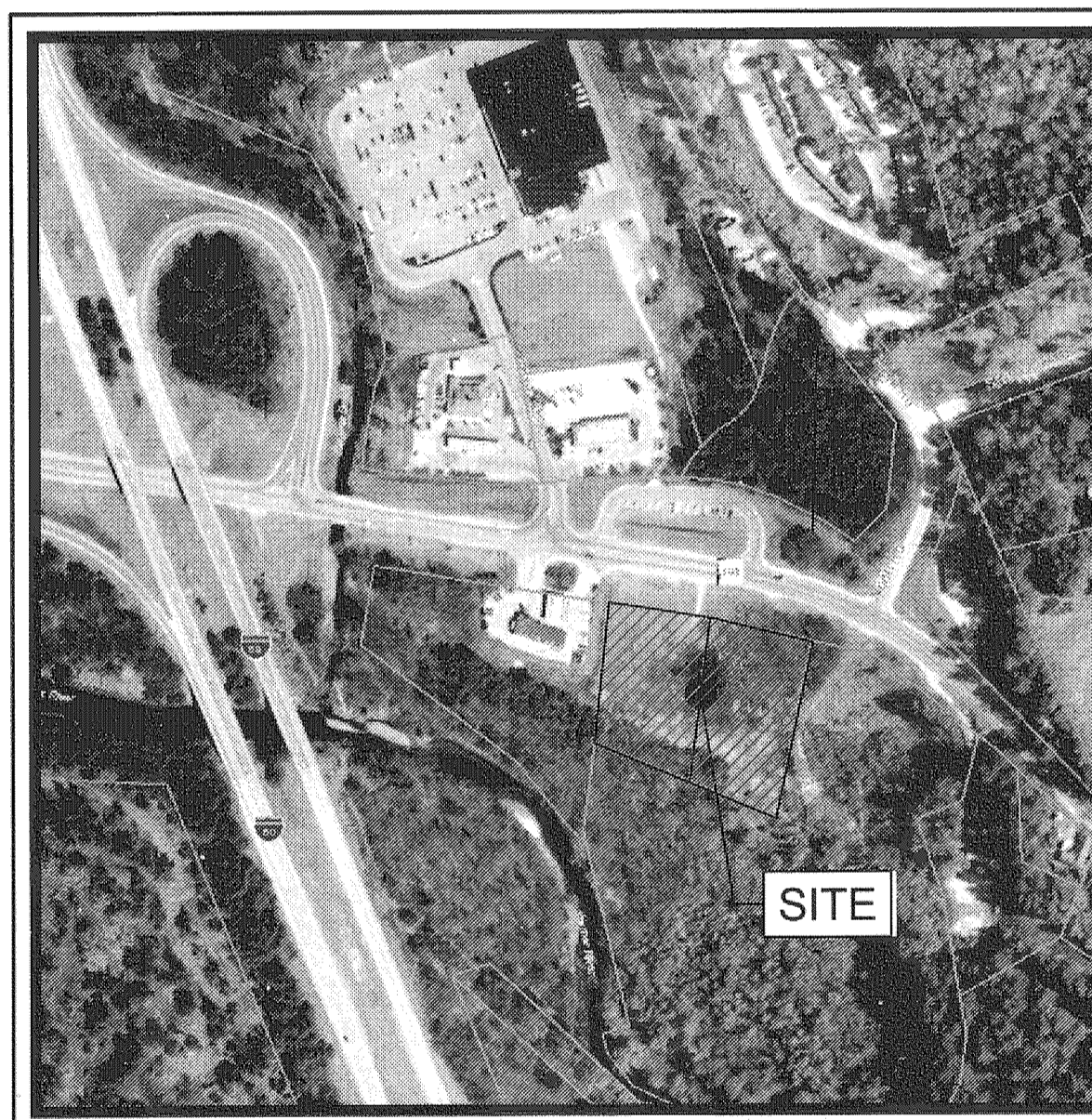
### COMET, LLC

355 MIDDLESEX AVE, SUITE 7

WILMINGTON, MA 01887

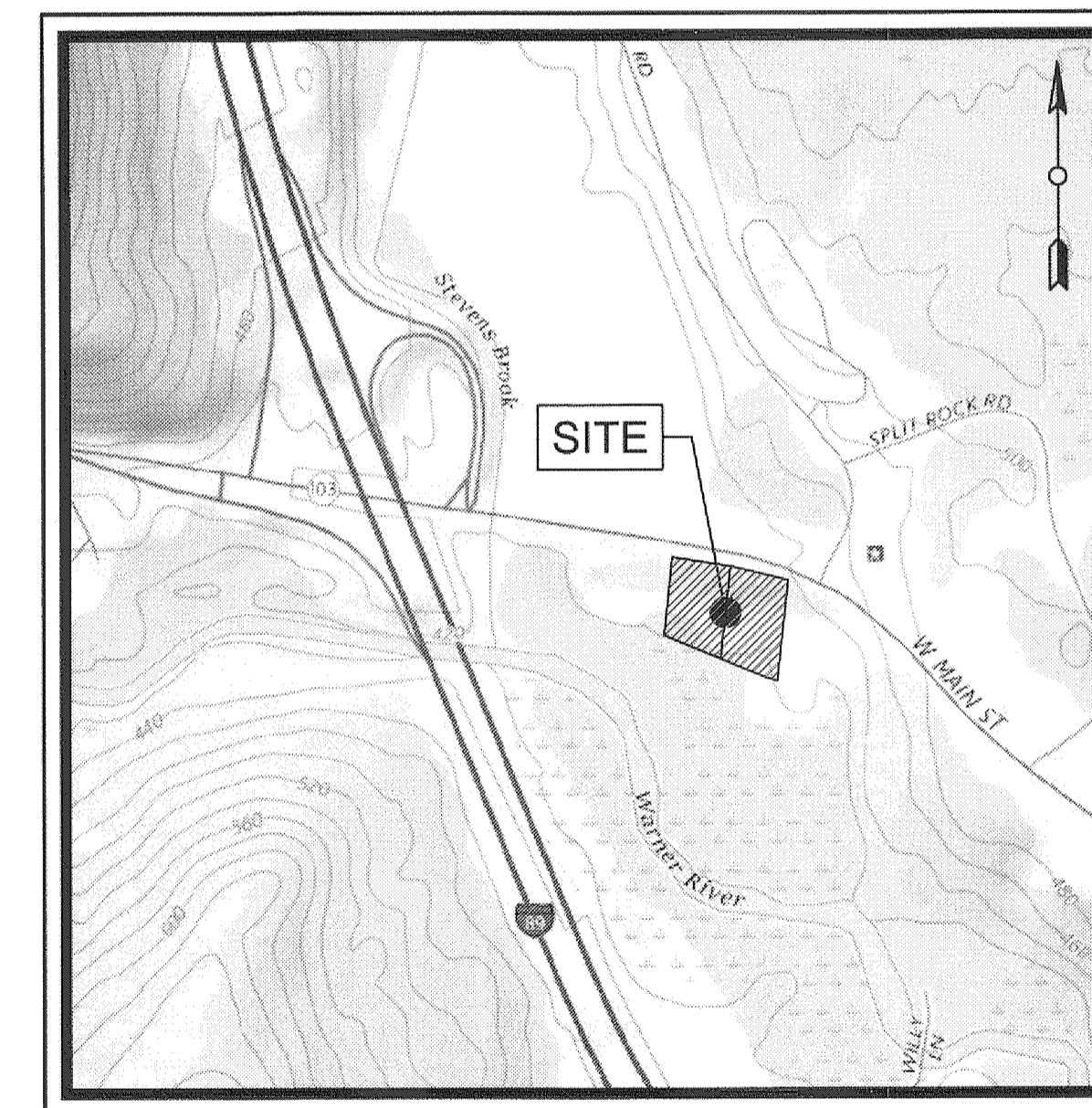
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**LOCUS MAP**

1"= 350'



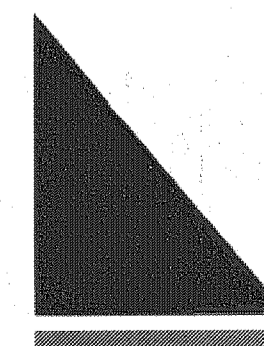
**USGS MAP**

N.T.S.

DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

PREPARED BY:

## RANGER ENGINEERING GROUP, INC



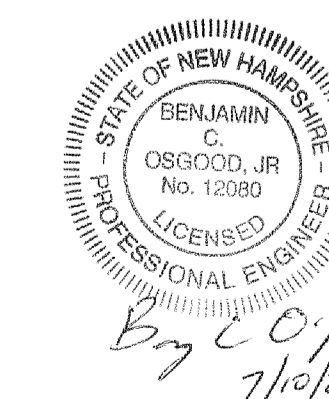
**Ranger Engineering Group, Inc.**

13 Branch Street, Suite 101

Methuen, MA 01844

Tel: 978-208-1762

rangereng.com



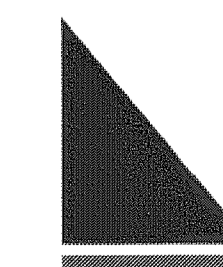
WARNER PLANNING BOARD CHAIRMAN:

DATE:

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER  
COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**COVER SHEET**  
CS0001



**Ranger Engineering Group, Inc.**

13 Branch Street, Suite 101

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DATE:  
2020-05-06

SCALE:

SHEET 1 OF 16

PROJECT STATUS: — PLOTTED: 7/10/2020 1:30 PM BY: CH RZM/PLT/STYL: — C:\PROJECTS\35038-C-CHANNEL BUILDING\10-1-Warner Engineering\Public\PLANETS\CS0001-05002.dwg



**USE REGULATIONS TABLE**

USES	TYPES	BY RIGHT	SPECIAL PERMIT	PARKING
CONVENIENCE RETAIL ESTABLISHMENTS	FOOD, DRUGS, PROPRIETY GOODS	X		1 SPACE PER 150 SF (50 PARKING SPACES @ 7500 SF)
GENERAL MERCHANDISE RETAIL	APPAREL, FURNITURE, HARDWARE, DISCOUNT	X		1 SPACE PER 250 SF (30 PARKING SPACES @ 7500 SF)
EATING AND DRINKING ESTABLISHMENTS		X		1 SPACE PER 3 SEATS & 1 SPACE PER EMPLOYEE
DRIVE IN EATING ESTABLISHMENTS	FAST FOOD		X	1 SPACE PER 50 SF (150 @ 7,500 SF) 1 SPACE PER 3 SEATS & 1 PER EMPLOYEE
HOTEL/MOTEL		X		1.1 SPACE PER UNIT & 1 SPACE PER 100 SF OF COMMON SPACE & 1 SPACE PER 5 RESTAURANT SEATS
PERSONAL/CONSUMER SERVICE ESTABLISHMENT		X		
PROFESSIONAL/BUSINESS OFFICES AND SERVICES		X		1 SPACE PER 100 SF (100 SPACES @ 10,000 SF)
MISC. BUSINESS REPAIR SERVICES			X	
MOVIE THEATER		X		
INDOOR AMUSEMENT/ RECREATION SERVICE			X	
COMMUNICATIONS/ TELEVISION TOWER			X	
COMMERCIAL PARKING LOT/STRUCTURE			X	
BUS PASSENGER TERMINAL			X	
RESEARCH OFFICES			X	1 SPACE PER 100 SF (100 SPACES @ 10,000 SF)
LIGHT INDUSTRIAL FIRM	MACHINE SHOP, COMPUTER, ETC		X	
PRIVATE DAY CARE			X	
ACCESSORY BUILDING	PRIVATE POOL, PRIVATE GARAGE, TOOL SHED, ETC	X		
YEAR-ROUND GREENHOUSE/ FARM STAND	AGRICULTURE/FARM PRODUCTS FOR RETAIL SALE		X	
PUBLIC UTILITY		X		
TOWN OWNED UTILITY FACILITY/PLANT	POWER, WATER FILTER, SEWAGE TREATMENT		X	
HOSPITAL/MEDICAL INSTITUTION			X	1 SPACE PER 100 SF (100 SPACES @ 10,000 SF)
TOWN BUILDING		X		
PUBLIC PARK			X	

**CONSTRUCTION NOTES:**

- CONSTRUCTION**
  - TOPSOIL:**  
EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM ROADWAY AND BUILDING AREAS AND STOCKPILED.
  - TREES AND STUMPS:**  
TREES AND STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER. STUMPS SHALL NOT BE BURIED ON SITE.
- MATERIALS**
  - BITUMINOUS CONCRETE PAVEMENT:**  
**PARKING AREAS:**  
SURFACE COURSE: 1-1/2 INCHES CLASS 1 BITUMINOUS CONCRETE PAVEMENT, TYPE I-1  
WEARING COURSE  
BINDER COURSE: 2-1/2 INCHES CLASS 1 BITUMINOUS CONCRETE PAVEMENT, TYPE I-1  
BINDER COURSE  
GRAVEL BASE COURSE: 4 INCHES COMPACTED DENSE GRADED CRUSHED STONE FOR SUB-BASE (NH 300.304)  
8 INCHES COMPACTED SUB-BASE
  - LANDSCAPE AREAS:**  
DISTURBED AREAS NOT COVERED BY STRUCTURES OR PAVEMENT AND NOT OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE 6 INCHES OF TOPSOIL. THESE AREAS ARE TO BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL BE FINISHED WITH 3" OF 1-1/2" RIVER ROCK.
  - TRAFFIC CONTROLS:**  
ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
  - ADA CONFORMANCE:**  
ALL HANDICAPPED ACCESSIBLE RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE STATE OF NEW HAMPSHIRE'S ADA REASONABLE ACCOMMODATION POLICY, WHICHEVER IS, WHICHEVER IS MORE RESTRICTIVE.
- UTILITIES**
  - EXISTING UTILITIES:**  
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE SURVEY NOTED ABOVE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING STRUCTURES.
  - PRIVATE UTILITIES:**  
THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE OR ELECTRIC). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION OR DEMOLITION.
  - STORM DRAINAGE:**  
STORM DRAIN PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH CORRUGATED EXTERIOR, SMOOTH LINED (n=0.013) WITH SOIL TIGHT JOINTS UNLESS OTHERWISE NOTED ON THE GRADING & DRAINAGE PLAN.
  - PROPOSED STRUCTURES:**  
RIM ELEVATIONS OF PROPOSED DRAINAGE MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLAN. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.

**ABBREVIATIONS**

BIT	BITUMINOUS	OCS	OUTLET CONTROL STRUCTURE
CB	CATCH BASIN	OE	OVERHEAD ELECTRIC
CONC	CONCRETE	PC	POINT OF CURVATURE
DH	DRILL HOLE	PCC	PRECAST CONCRETE CURB
DMH	DRAIN MANHOLE	PERF	PERFORATED
ELEV	ELEVATION	PRC	POINT OF REVERSE CURVE-CURVE
ESHGW	ESTIMATED SEASONAL HIGH GROUND WATER	PROP	PROPOSED
EXIST	EXISTING	PT	POINT OF TANGENT
FND	FOUNDATION	PVC	POLYVINYL CHLORIDE PIPE
FES	FLARED END SECTION	RCP	REINFORCED CONCRETE PIPE
GF	GARAGE FLOOR	SMH	SEWER MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	STR	STRUCTURE
HYD	HYDRANT	TYP	TYPICAL
INV	INVERT ELEVATION	VGC	VERTICAL GRANITE CURB
IP	IRON PIPE	CCB	CAPE COD BERM
IR	IRON ROD		
MAX	MAXIMUM		
MIN	MINIMUM		
NTS	NOT TO SCALE		

EXISTING	LEGEND	PROPOSED
	BUILDING	
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	ADJACENT PROPERTY LINE	
	SETBACK LINE	
	EASEMENT LINE	
	WOOD FENCE	
	CONCRETE	
	RIP RAP	
	BIT. CONC. PAVEMENT	
	SIGN	
	BOLLARD	
	SPOT ELEVATION	
	CONTOUR	
	WATER LINE DOMESTIC	
	SANITARY SEWER	
	STORM SEWER	
	OVERHEAD ELECTRIC	
	UNDERGROUND GAS	
	UTILITY POLE	
	SANITARY MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN MANHOLE	
	STORM DRAIN INLET	
	STORM DRAIN FLARED END SECTION	
	STORM DRAIN CLEANOUT	
	FIRE HYDRANT	
	WATER VALVE	
	TREE LINE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	CONSTRUCTION ENTRANCE	
	SILT SACK	
	EROSION CONTROL	
	HANDICAP MARKING	
	DETECTABLE WARNING STRIP	
	STONE BOUND	

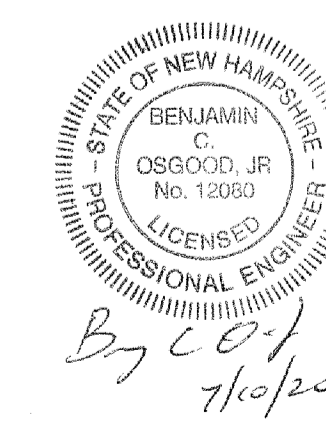
07/10/2020	1	FINAL REVIEW COMMENTS	BCO
DATE	INO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**NOTES AND LEGEND**  
CS002

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rangereng.com



WARNER PLANNING BOARD CHAIRMAN:

DATE:

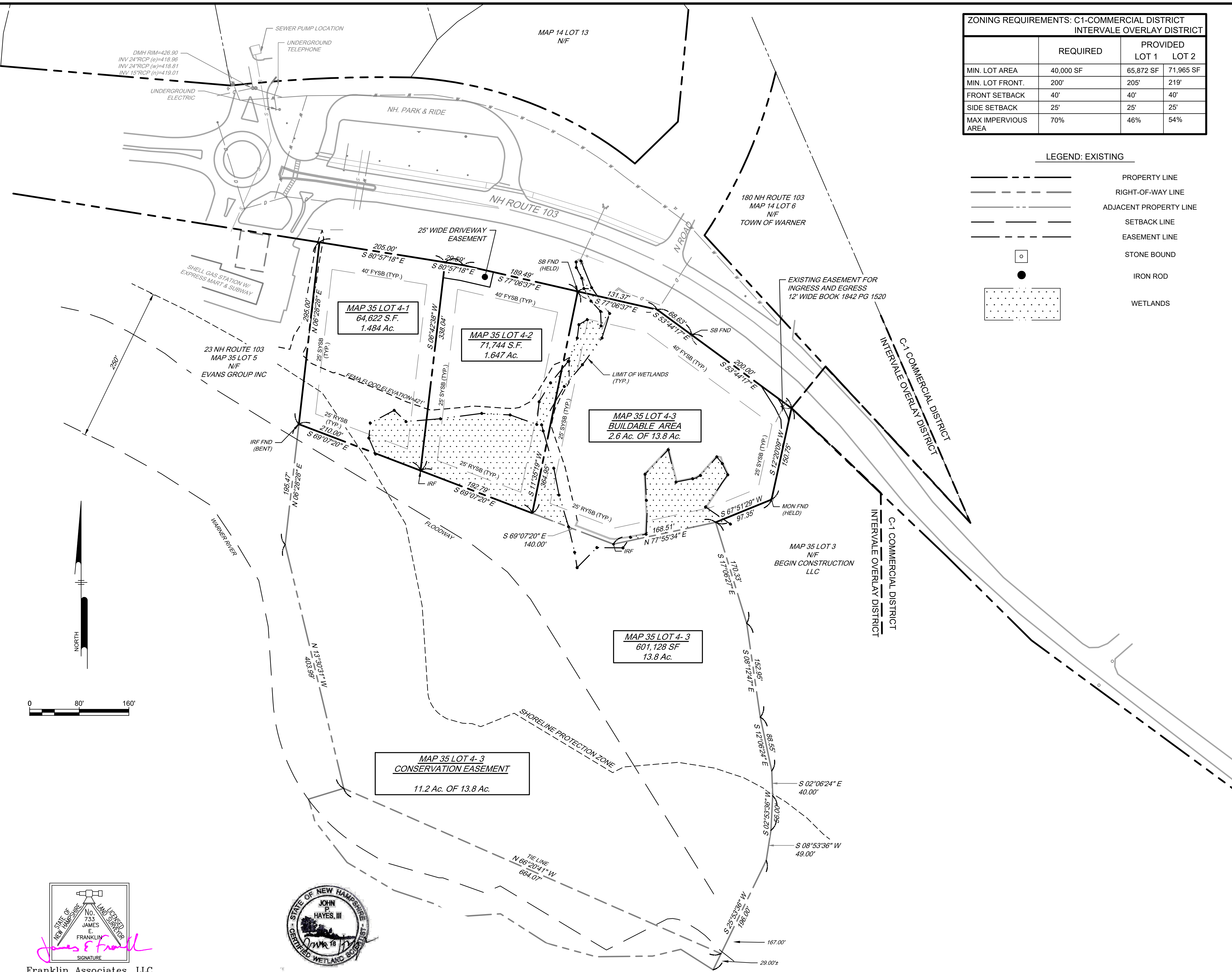
DATE: 2020-05-06

SCALE:

SHEET 2 OF 16

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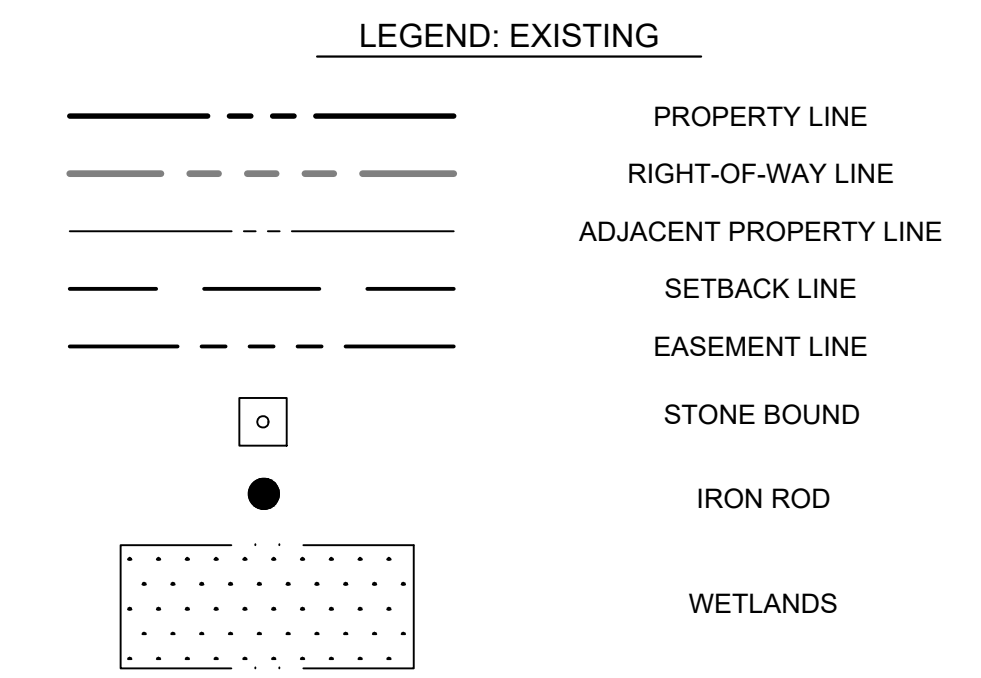


ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT

	REQUIRED	PROVIDED	
		LOT 1	LOT 2
MIN. LOT AREA	40,000 SF	65,872 SF	71,965 SF
MIN. LOT FRONT	200'	205'	219'
FRONT SETBACK	40'	40'	40'
SIDE SETBACK	25'	25'	25'
MAX IMPERVIOUS AREA	70%	46%	54%

**FLOOD ZONE INFORMATION**

SUBJECT PARCEL IS LOCATED IN ZONES AE & X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 33013C287E WHICH BEARS AN EFFECTIVE DATE OF APRIL 19, 2010. FEMA FLOOD ELEVATION WAS DETERMINED BY FIELD SURVEY PERFORMED BY RANGER ENGINEERING GROUP. FLOODWAY LINE WAS TRACED FROM THE ABOVE REFERENCED FEMA MAP.



- SURVEY NOTES**
1. THE LOCUS IS SHOWN ON TOWN OF WARNER ASSESSOR'S MAP 35 LOTS 4-1, 4-2, AND 4-3, LOCATED IN ZONING DISTRICT C1 COMMERCIAL AND IS KNOWN AS 9 ROUTE 103 WEST.
  2. DEED REFERENCE: BOOK 3579 PAGE 98, MERRIMACK COUNTY REGISTRY OF DEEDS.
  3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
  4. THE BASIS OF BEARING FOR THIS PLAN IS THE NEW HAMPSHIRE STATE PLANE COORDINATES
  5. WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS.
  6. NHDOT DRIVEWAY ACCESS PERMIT PENDING

- REFERENCE DEEDS:**
1. BOOK 3579 PAGE 98 MERRIMACK COUNTY REGISTRY OF DEEDS

- REFERENCE PLANS:**
1. PLAN 16243
  2. PLAN 11670
  3. PLAN 7757
  4. PLAN 307
  5. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-89-I(57)19 N.H. PROJECT NO. P-7407-C INTERSTATE ROUTE I-89 SHEETS 76, 77, 80, & 81 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

- EASEMENTS AND ENCUMBRANCES:**
- EXISTING CONSERVATION EASEMENT  
BOOK 2547 PAGE 1295  
PLAN 16243
  - EXISTING DRIVEWAY EASEMENT  
BOOK 1842 PAGE 1520  
PLAN 16243
  - EXISTING INGRESS/EGRESS EASEMENT  
BOOK 1842 PAGE 1520  
PLAN 16243

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**SITE PLAN**  
**ROUTE 103 WEST, WARNER NH,**  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

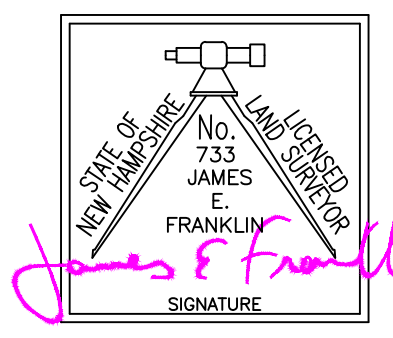
**EXISTING CONDITIONS PLAN**  
**CS0201**

**Ranger Engineering Group, Inc.**  
 13 Branch Street, Suite 101  
 Methuen, MA 01844  
 Tel: 978-208-1762  
 rangereng.com

WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

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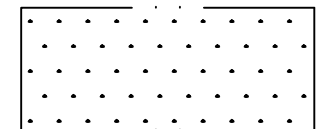
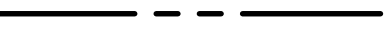

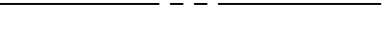



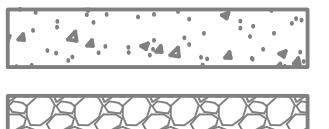
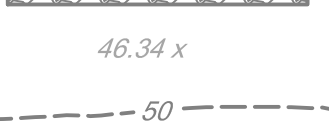











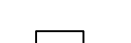
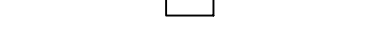




Franklin Associates, LLC  
 Land Surveyors & Septic System Designers  
 143 Raymond Road, Unit 4  
 Candia, New Hampshire 03034  
 603-483-3096

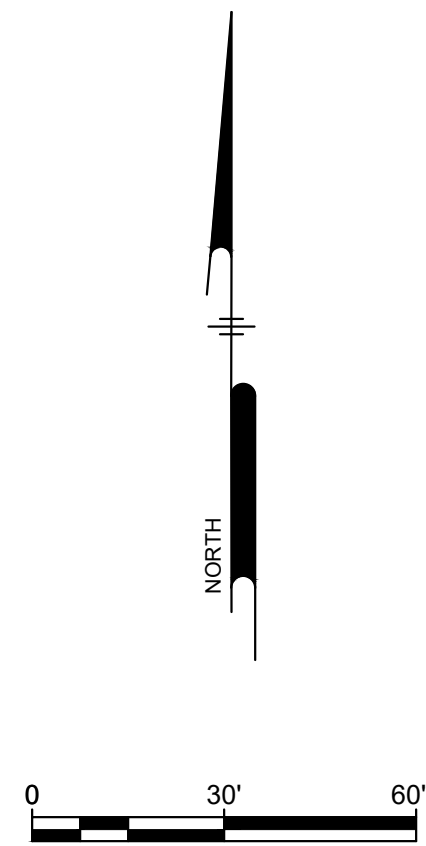


WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS.



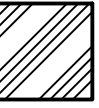
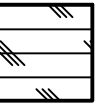
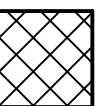
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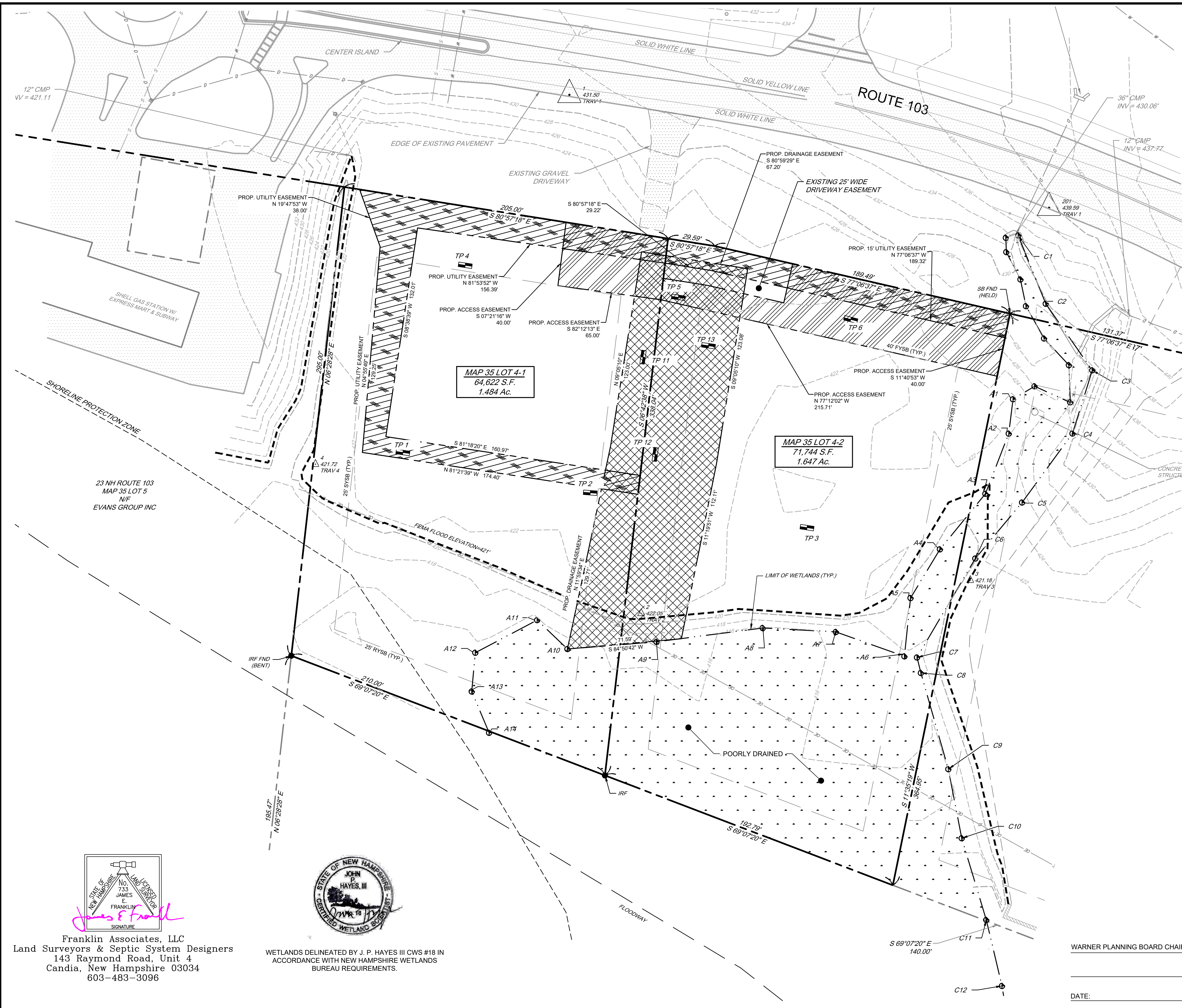
-  WETLANDS
-  PROPERTY LINE
-  RIGHT-OF-WAY LINE
-  ADJACENT PROPERTY LINE
-  SETBACK LINE
-  EASEMENT LINE
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-  CONCRETE
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-  SANITARY MANHOLE
-  STORM DRAIN MANHOLE
-  STORM DRAIN INLET
-  FIRE HYDRANT
-  WATER VALVE
-  TREE LINE
-  STONE BOUND
-  IRON ROD
-  TEST PIT
-  TRAVERSE POINT



- NOTES:
- SEE SHEET 7, CS1501 FOR TEST PIT INFORMATION
  - WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS.

DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

- PROPOSED EASEMENTS**
-  ACCESS EASEMENT  
9275 SF
  -  UTILITY EASEMENT  
8857 SF
  -  DRAINAGE EASEMENT  
16471 SF



Franklin Associates, LLC  
Land Surveyors & Septic System Designers  
143 Raymond Road, Unit 4  
Candia, New Hampshire 03034  
603-483-3096


WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS.

WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EXISTING CONDITIONS PLAN - SITE VIEW**  
CS0202

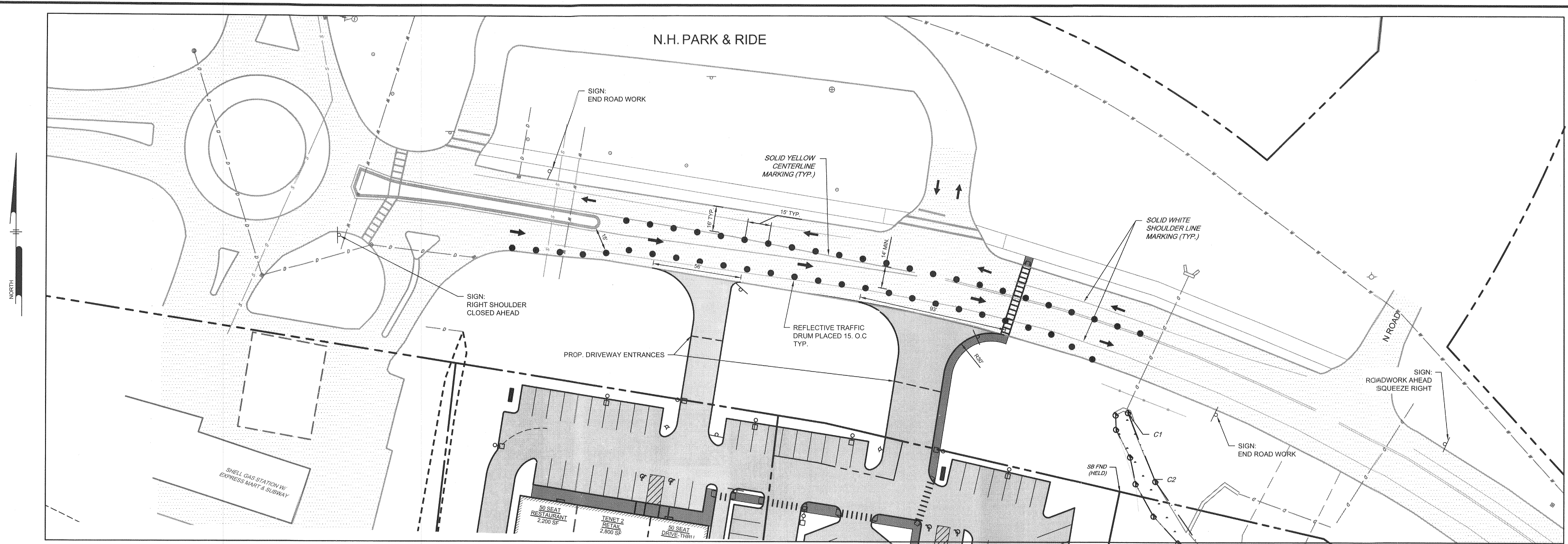


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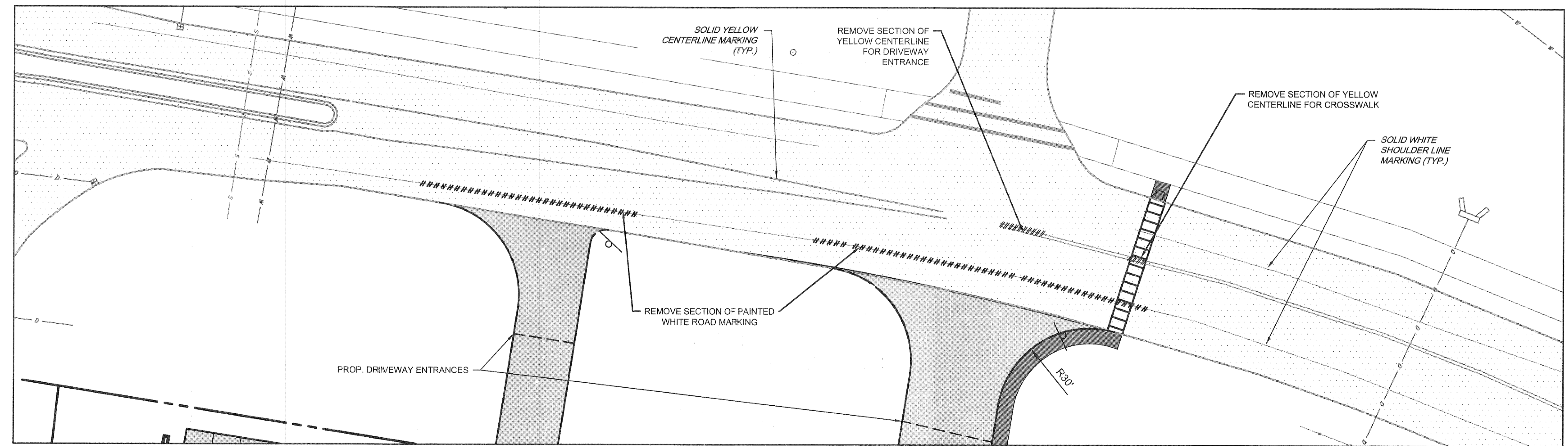
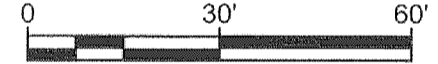
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SHEET 4 OF 16

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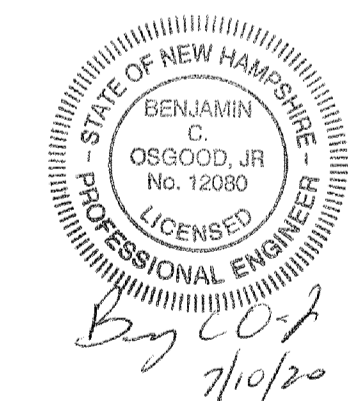
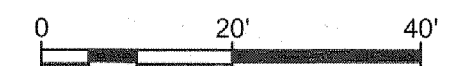




TRAFFIC MANAGEMENT PLAN DURING DRIVEWAY ENTRANCE CONSTRUCTION



PAVEMENT MARKING PLAN VIEW



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

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ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
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**TRAFFIC CONTROL & DEMO PLAN**  
**CS0501**

**Ranger Engineering Group, Inc.**  
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 Tel: 978-208-1762  
 rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:

DATE: 2020-05-06

SCALE:

SHEET 5 OF 16

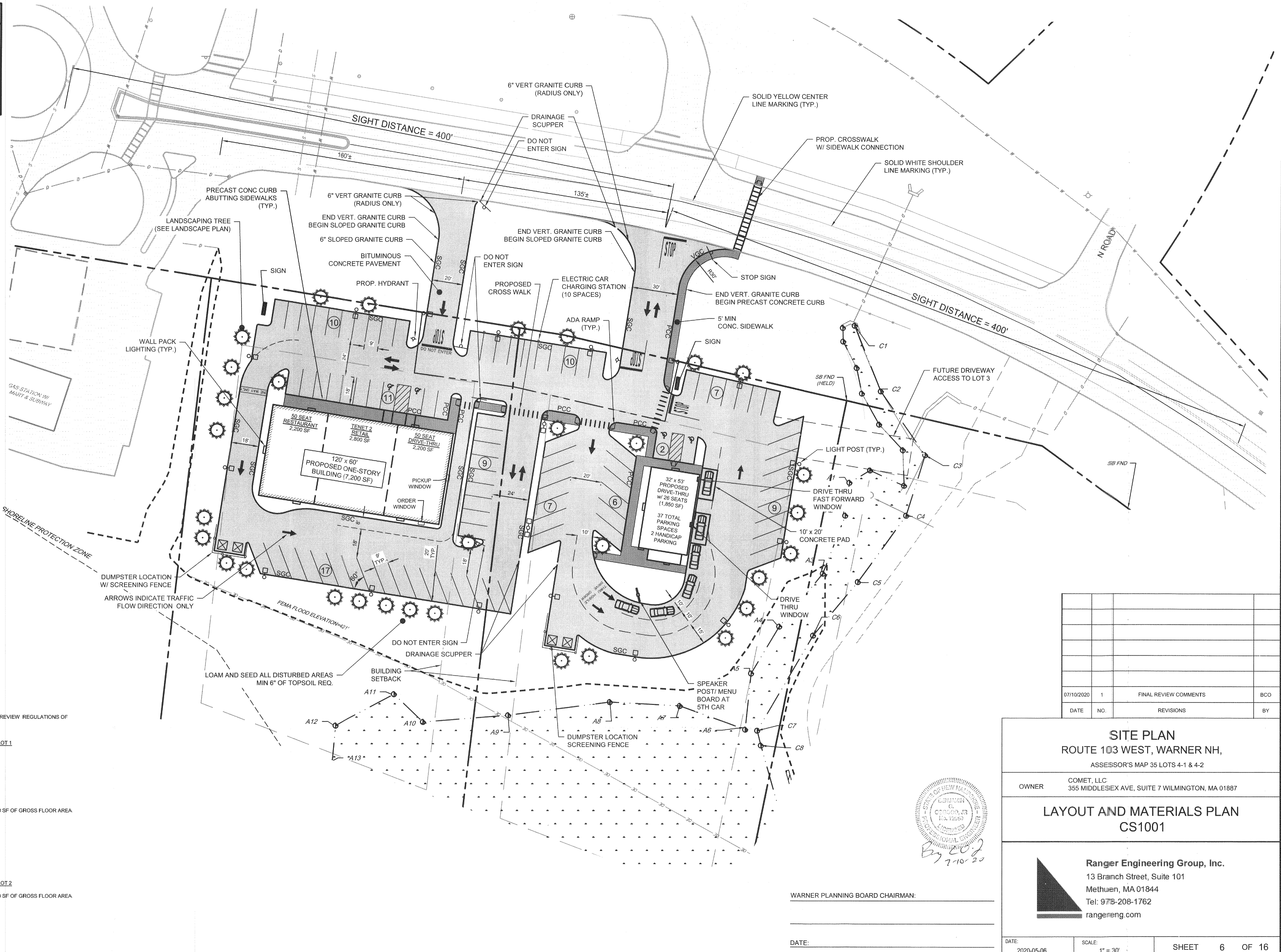
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 PROJECT STATUS:



ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT  
INTERVALE OVERLAY DISTRICT

	REQUIRED	PROVIDED LOT 1	LOT 2
MIN. LOT AREA	40,000 SF	65,872 SF	71,966 SF
MIN. LOT FRONT	200'	205'	219'
FRONT SETBACK	40'	40'	40'
SIDE SETBACK	25'	25'	25'
MAX IMPERVIOUS AREA	70%	46%	54%

- SIGN NOTES:**
- EACH PREMISE / LOT MAY HAVE 1 FREE STANDING SIGN, NO TALLER THAN 15 FEET IN HEIGHT, AND BE NO MORE THAN 24 SQUARE FEET IN AREA.
  - SIGNS SHALL HAVE A MAX COMBINED TOTAL AREA OF NOT MORE THAN 64 SQUARE FEET IN SURFACE AND/OR IMAGE AREA PER PREMISE / LOT.
  - FREE STANDING SIGNS SHALL BE SETBACK NOT LESS THAN 10 FEET FROM ANY PROPERTY LINES.



**PARKING CALCULATION:**  
PER SECTION XIX.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:

PARKING REQUIRED	LOT 1	LOT 2
<b>SIT-DOWN RESTAURANT:</b> 1 SPACE PER 3 SEATS + 1 PER EMPLOYEE 1 SPACE PER 3 SEATS @ 50 SEATS = 17 SPACES 1 SPACE PER EMPLOYEE @ 8 EMPLOYEES = 8 SPACES TOTAL SPACES REQUIRED = 25 SPACES		
<b>RETAIL (MEDIUM VOLUME):</b> 1 SPACE PER 250 SF 1 SPACE PER 250 SF @ 2,800 GSF = 12 SPACES		
<b>DRIVE-THRU RESTAURANT:</b> 1 SPACE PER 3 SEATS + 1 PER EMPLOYEE + 1 SPACE PER 50 SF OF GROSS FLOOR AREA 1 SPACE PER 3 SEATS @ 50 SEATS = 17 SPACES 1 SPACE PER EMPLOYEE @ 8 EMPLOYEES = 8 SPACES 1 SPACE PER 50 SF OF GROSS FLOOR AREA @ 2,200 GSF = 44 SPACES TOTAL SPACES REQUIRED = 69		
<b>TOTAL REQUIRED = 106 SPACES</b> <b>TOTAL PROVIDED = 51 SPACES</b>		
<b>PARKING REQUIRED</b>	<b>LOT 2</b>	
<b>DRIVE-THRU RESTAURANT:</b> 1 SPACE PER 3 SEATS + 1 PER EMPLOYEE + 1 SPACE PER 50 SF OF GROSS FLOOR AREA 1 SPACE PER 3 SEATS @ 24 SEATS = 8 SPACES 1 SPACE PER EMPLOYEE @ 8 EMPLOYEES = 8 SPACES 1 SPACE PER 50 SF OF GROSS FLOOR AREA @ 1850 GSF = 37 TOTAL SPACES REQUIRED = 51		
<b>TOTAL REQUIRED = 51 SPACES</b> <b>TOTAL PROVIDED = 37 SPACES</b>		

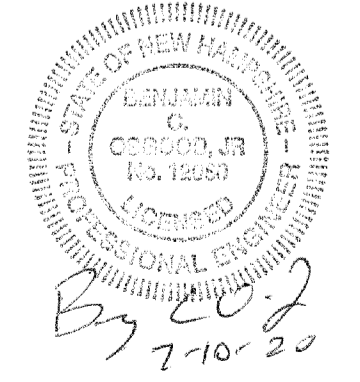
DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESSEX AVE, SUITE 7 WILMINGTON, MA 01887

**LAYOUT AND MATERIALS PLAN**  
CS1001

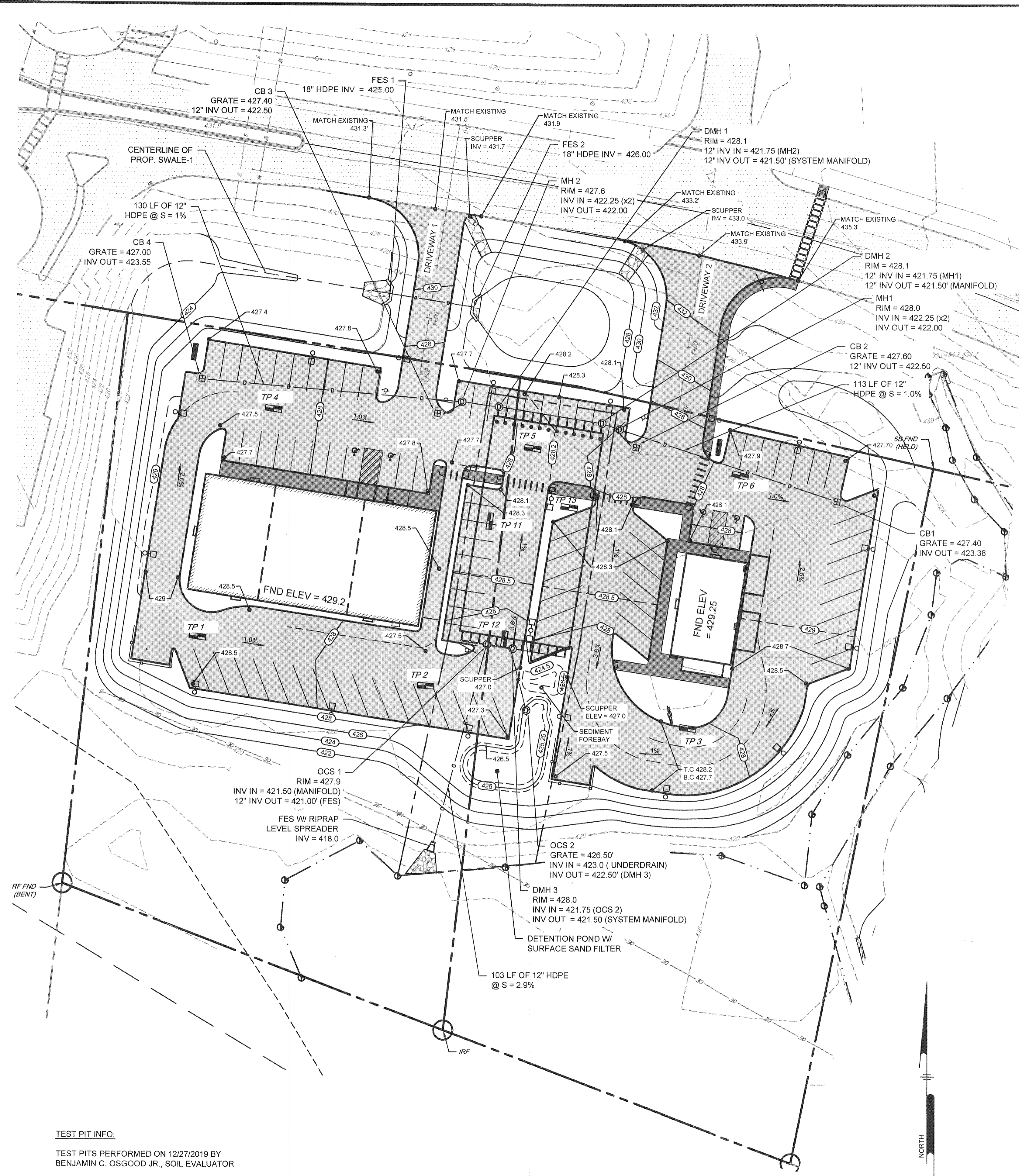
**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com



WARNER PLANNING BOARD CHAIRMAN:

DATE: 2020-05-06





TOP ELEV 422.25' ESHGW 414.75'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-53"	FILL 1			
53-90"	FILL 2			
90-102"	B	S.L	10YR 4/6	
102-108"	C	FS	7.5YR 3/3	

WEEPING @ 90"

TOP ELEV 422.4' ESHGW 416.4'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-44"	FILL 1			
44-72"	FILL 2			
72-90"	B	L.S	10YR 4/6	
90-98"	C	G.S	7.5YR 3/3	
			10YR 5/6	REDOX @ 72"

TOP ELEV 421.8' ESHGW 414.3'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-36"	FILL 1			
36-90"	FILL 2			
90-96"	B	L.S	10YR 4/6	
96-112"	C	G.S	7.5YR 3/3	
			10YR 5/6	REDOX @ 90"

TOP ELEV 422.75' ESHGW 415.9'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-36"	FILL 1			
36-90"	FILL 2			
90-96"	B	L.S	10YR 4/6	
106-1130"	C	G.S	7.5YR 3/3	

ESHGW @ 75"

TOP ELEV 422.8' ESHGW 416.55'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-72"	FILL 1			
72-108"	B	L.S	10YR 4/6	
108-1130"	C	G.S	7.5YR 3/3	

ESHGW @ 75"

TOP ELEV 423.25' ESHGW N/A

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-80"	FILL 1			
80-1120"	FILL 2	SILTY CLAY LOAM W/ HIGH ORGANIC CONTENT		
120-1123"	C	G.S	7.5YR 3/3	

TOP ELEV 422.5' ESHGW 415.0'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-2"	O			
2-36"	FILL 1			
36-42"	FILL 2			
42-44"	OLD PVMT			
44-60"	FILL 3	GRAVELY SAND		
60-72"	FILL 4	MED. SAND		
72-90"	OLD A/B			
90-1120"	C	COURSE SAND	2.5Y 4/4	

PONDING @ 90"

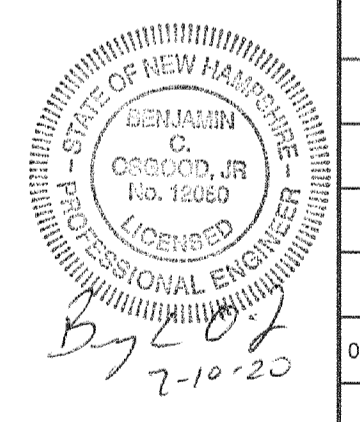
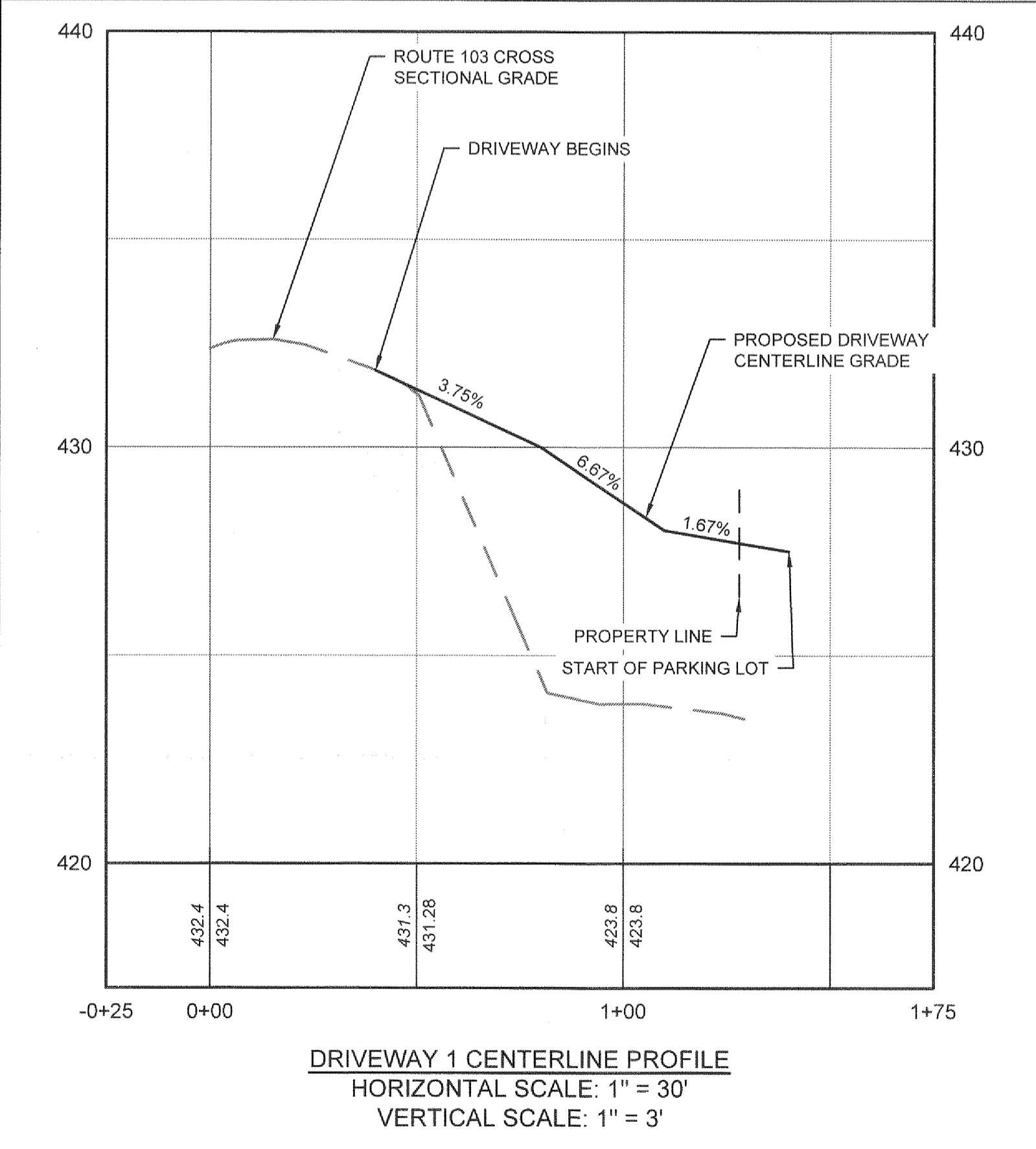
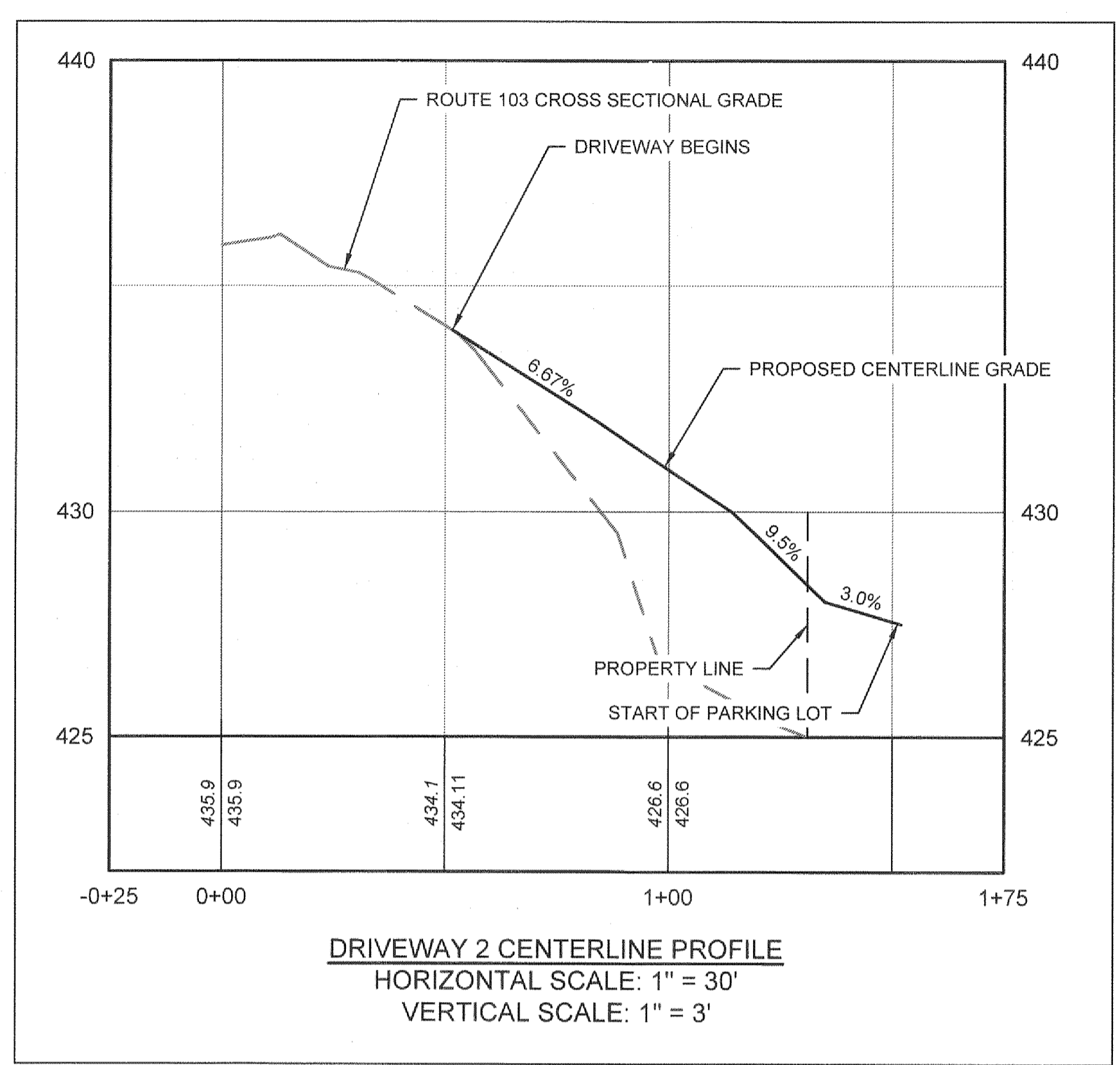
TOP ELEV 422.5' ESHGW 414.5'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-30"	FILL 1			
30-80"	FILL 2			
80-96"	OLD A/B			
96-1120"	C	G.S	10YR 2/2	

TOP ELEV 423.00' ESHGW 415.50'

DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-84"	FILL 1			
84-90"	OLD A			
90-1120"	C	COURSE SAND	2.5Y 4/4	

IN-SITU CONDUCTIVITY TEST DONE @ 90"



DATE	NO.	REVISIONS	BY
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**SITE PLAN**  
**ROUTE 103 WEST, WARNER NH,**  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

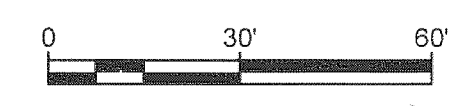
**GRADING AND DRAINAGE PLAN**  
**CS1501**

**Ranger Engineering Group, Inc.**  
 13 Branch Street, Suite 101  
 Methuen, MA 01844  
 Tel: 978-208-1762  
 rangereng.com

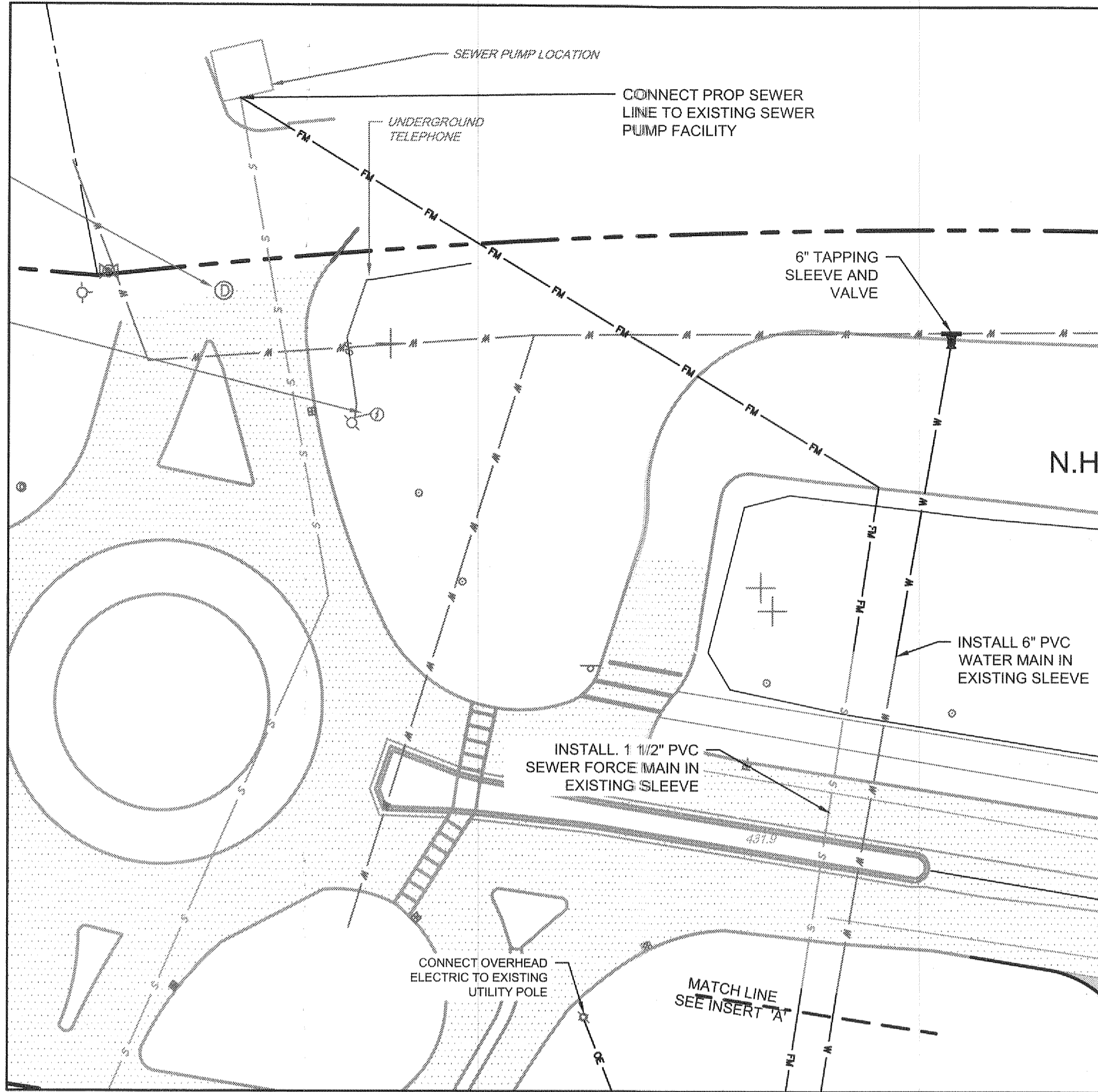
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 TEST PITS PERFORMED ON 12/27/2019 BY  
 BENJAMIN C. OSGOOD, JR., SOIL EVALUATOR

WARNER PLANNING BOARD CHAIRMAN:

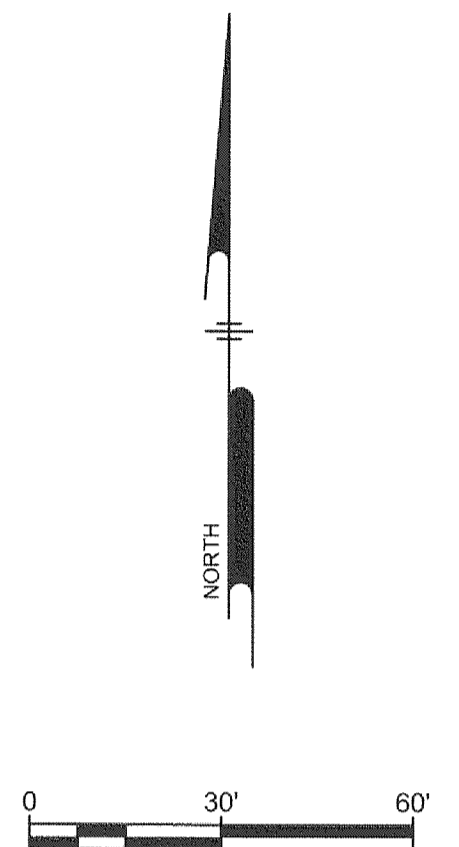
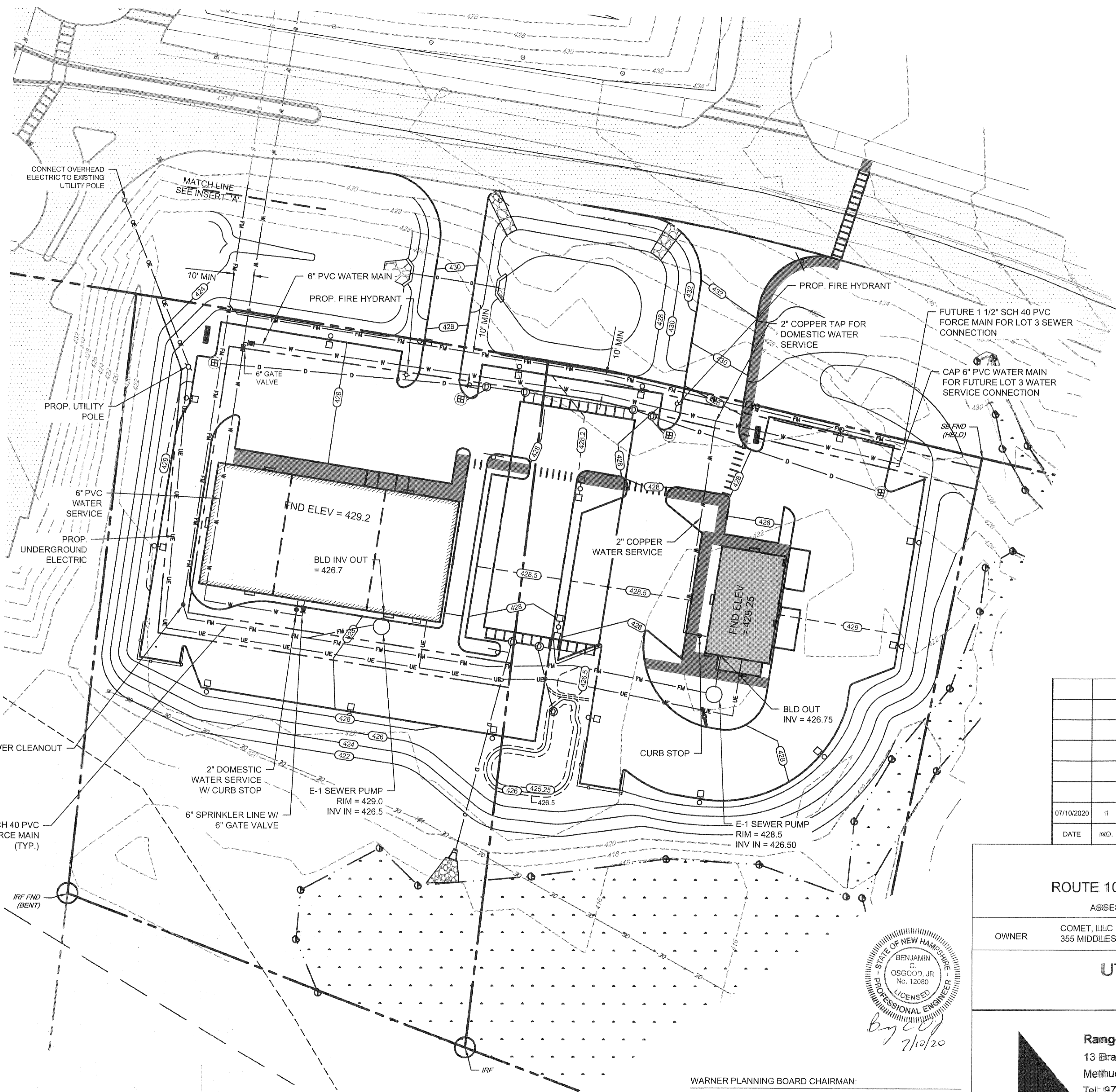
DATE:







INSERT 'A': SEWER AND WATER TIE IN



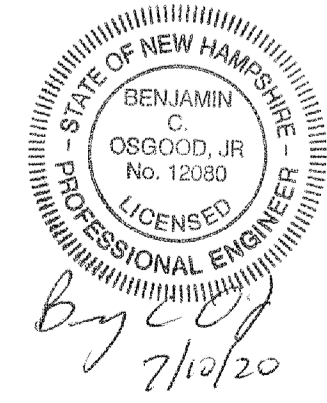
DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
 ROUTE 103 WEST, WARNER NH,  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**UTILITY PLAN**  
 CS1701

**Ranger Engineering Group, Inc.**  
 13 Branch Street, Suite 101  
 Methuen, MA 01844  
 Tel: 978-208-1762  
 rangereng.com

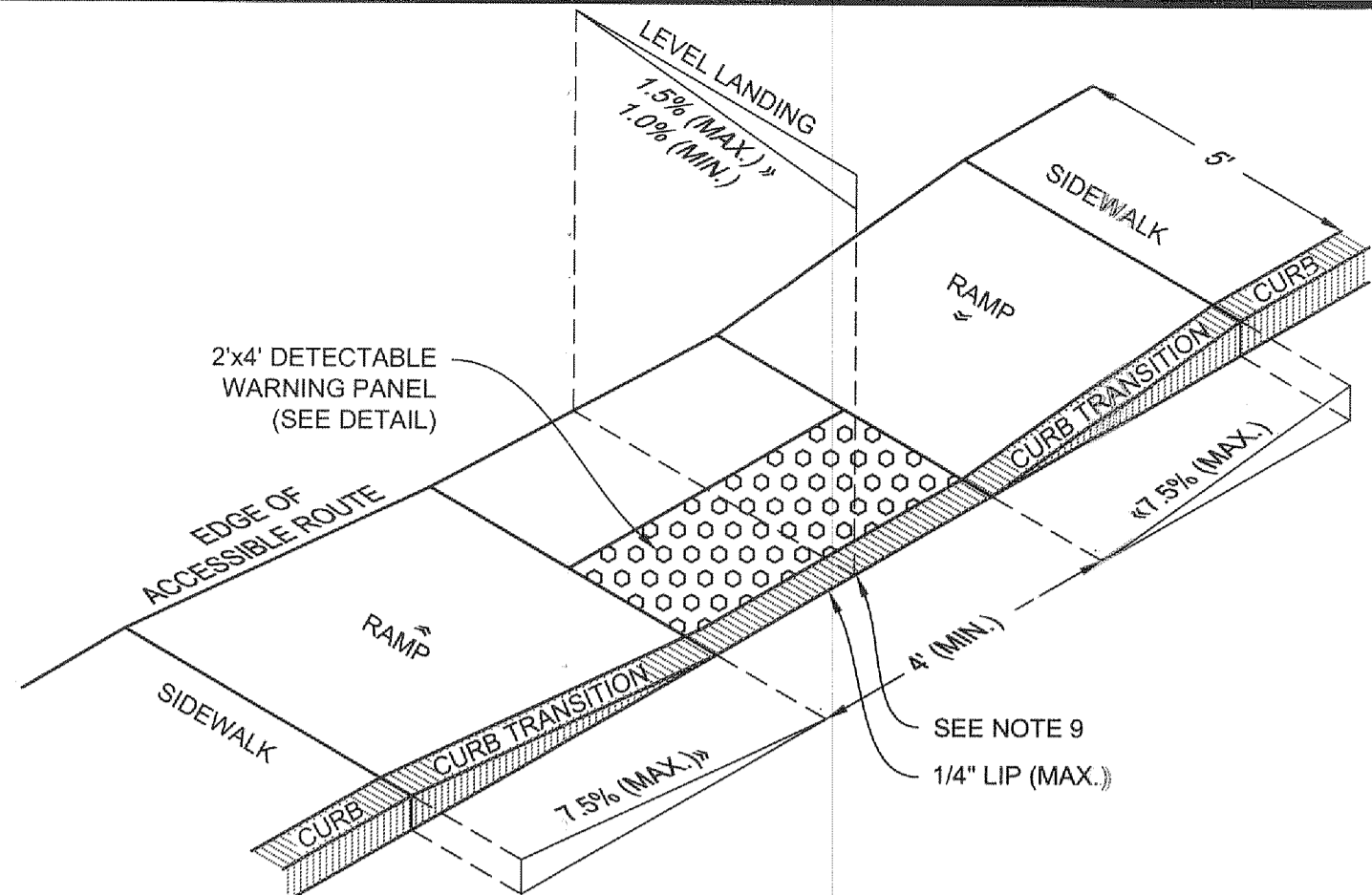


WARNER PLANNING BOARD CHAIRMAN:

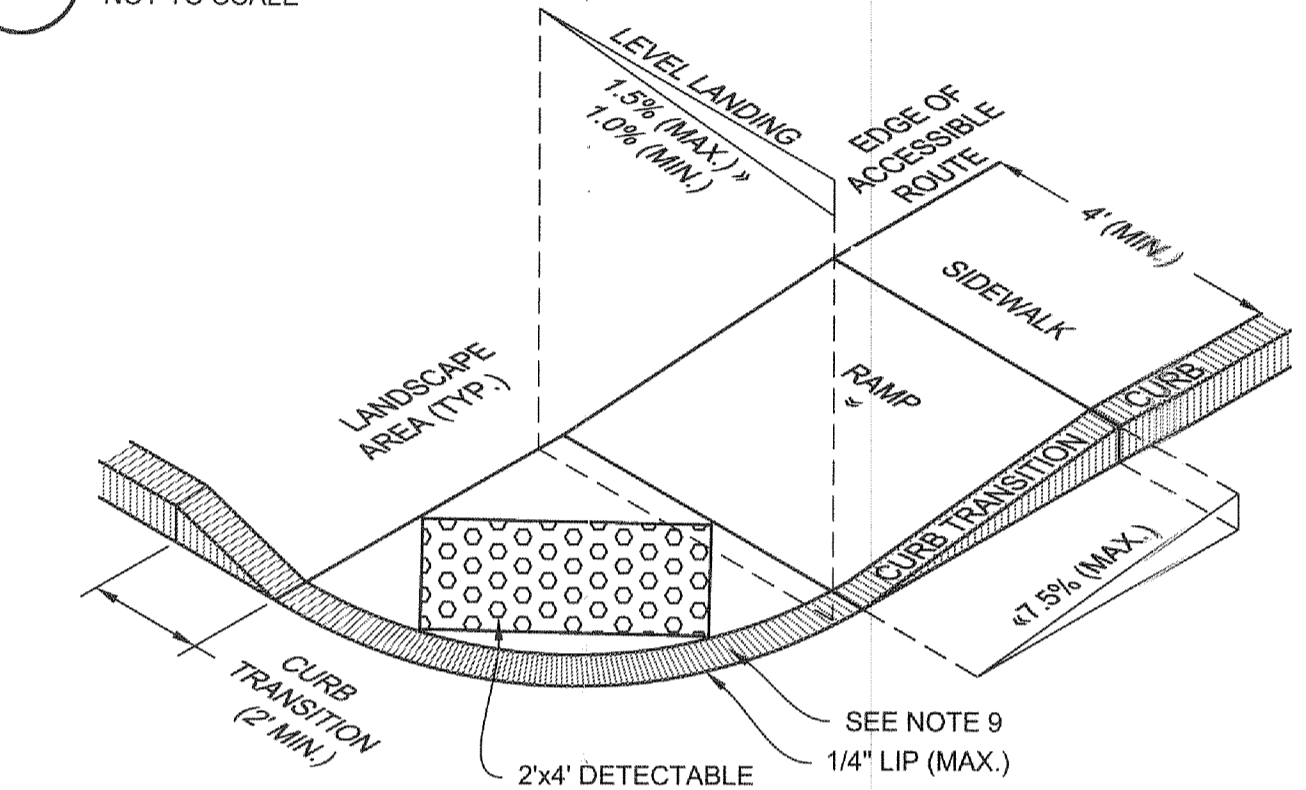
DATE:

Q:\PROJECTS\CHIC\_CHANNEL\BUILDING\19-104 - Warner\INDESIGN\_PUBLISH\INSETCS1701.dwg      PLOTTED: 7/10/2020 1:38 PM BY: OIR:Robie      PLOTSTYLE: ITTEm ACS.dwt      PROJECT STATUS:

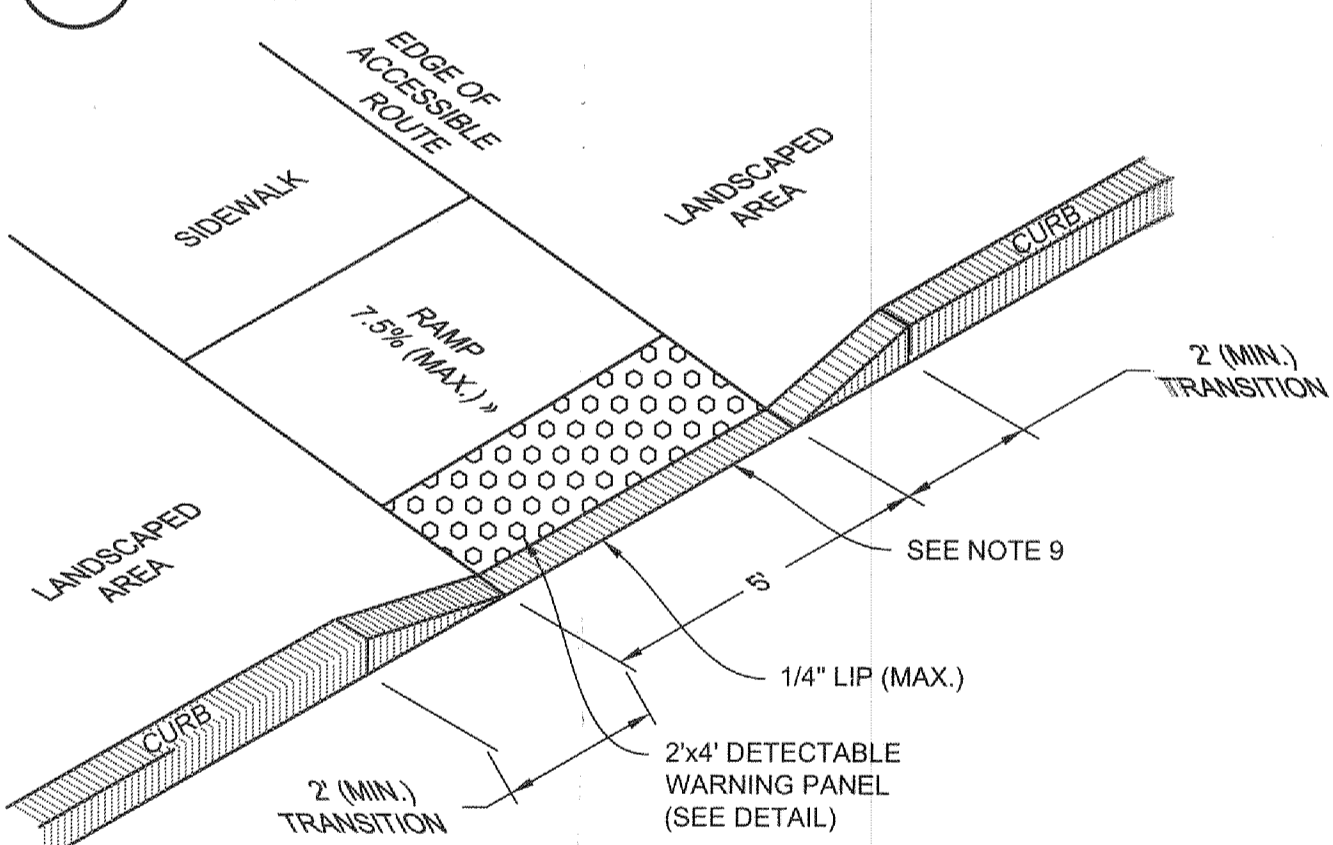




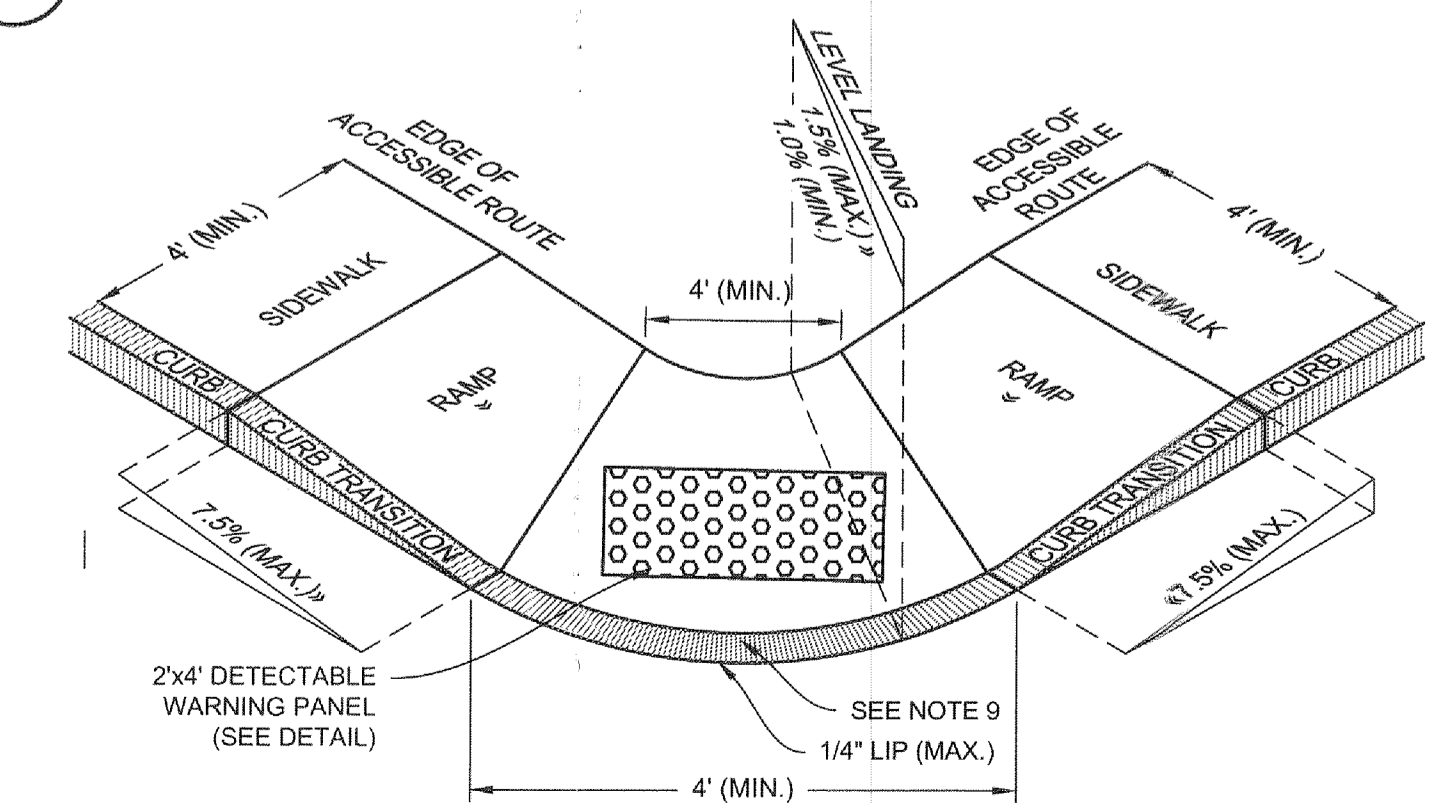
1 ACCESSIBLE CURB RAMP (ACR) - TYPE 'A' W/ DETECTABLE WARNING PANEL  
NOT TO SCALE



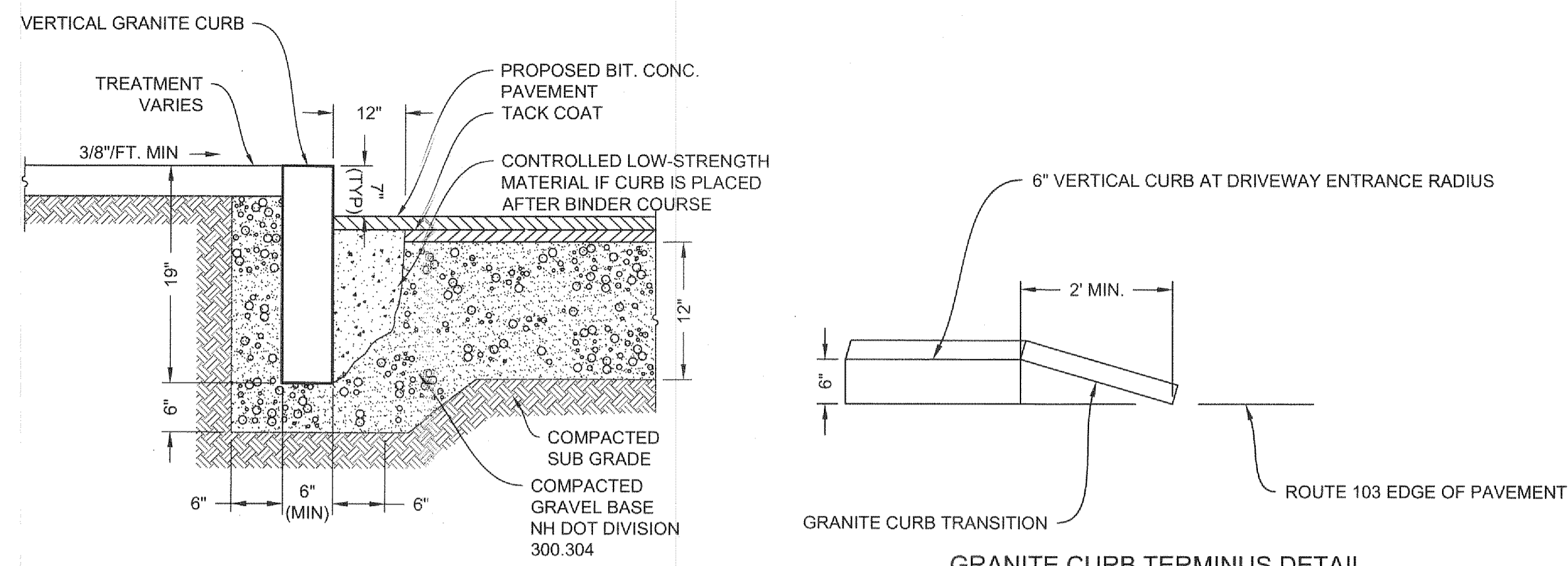
6 ACCESSIBLE CURB RAMP (ACR) W/ DETECTABLE WARNING PANEL  
NOT TO SCALE



10 ACCESSIBLE CURB RAMP (ACR) - TYPE 'M' WITH DETECTABLE WARNING PANEL  
NOT TO SCALE



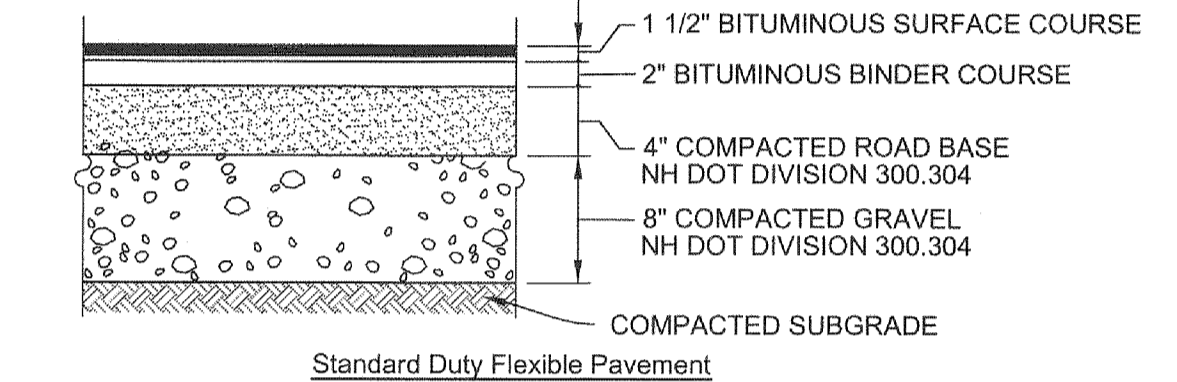
11 ACCESSIBLE CURB RAMP (ACR) - TYPE 'C' WITH DETECTABLE WARNING PANEL  
NOT TO SCALE



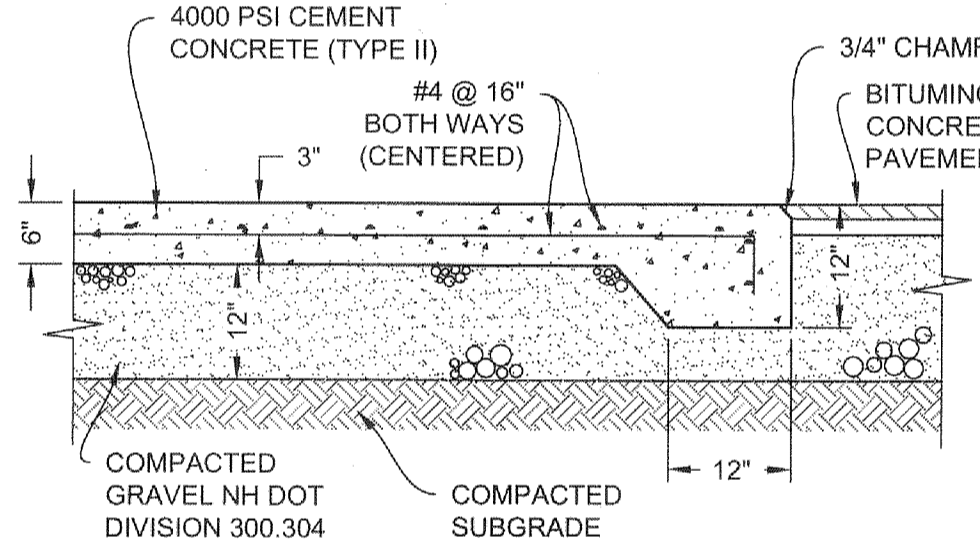
2 VERTICAL GRANITE CURB  
NOT TO SCALE

ACCESSIBLE CURB RAMP NOTES:

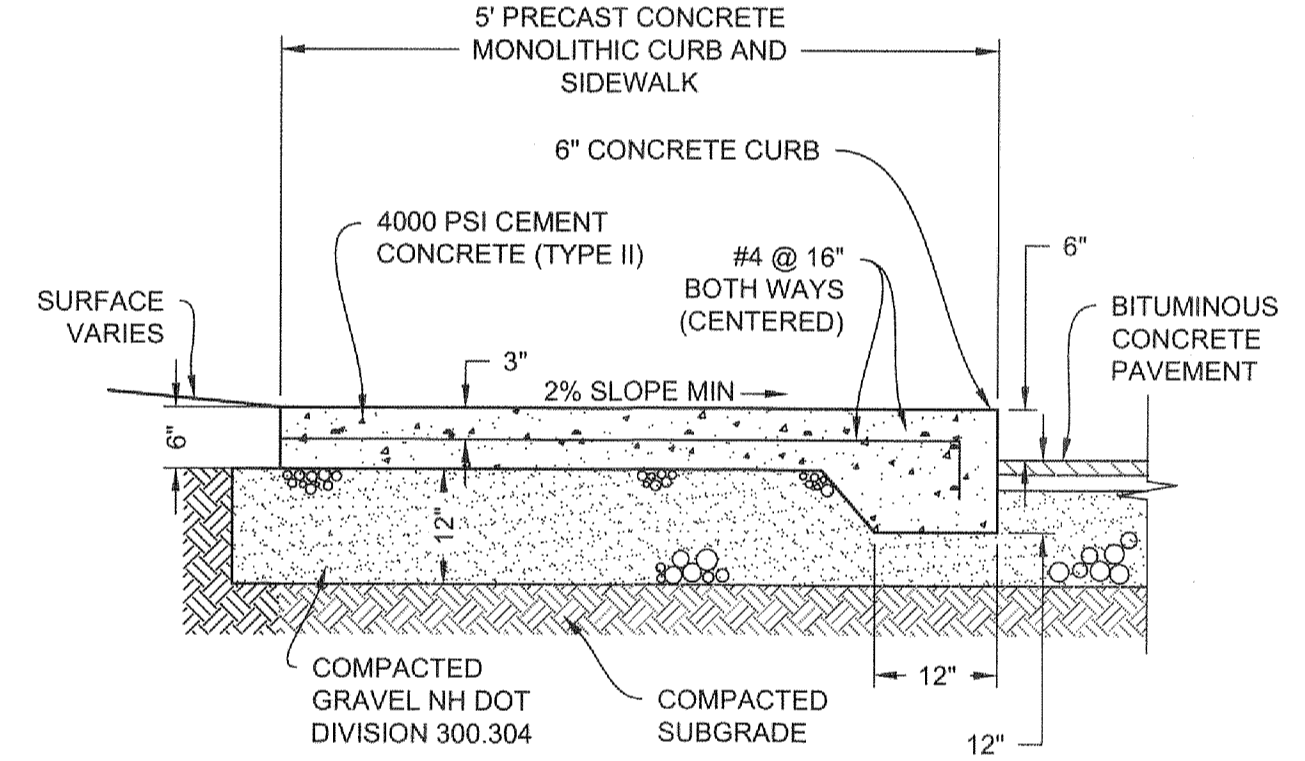
1. THE MAXIMUM ALLOWABLE SIDEWALK AND RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES. SEE PLAN FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.



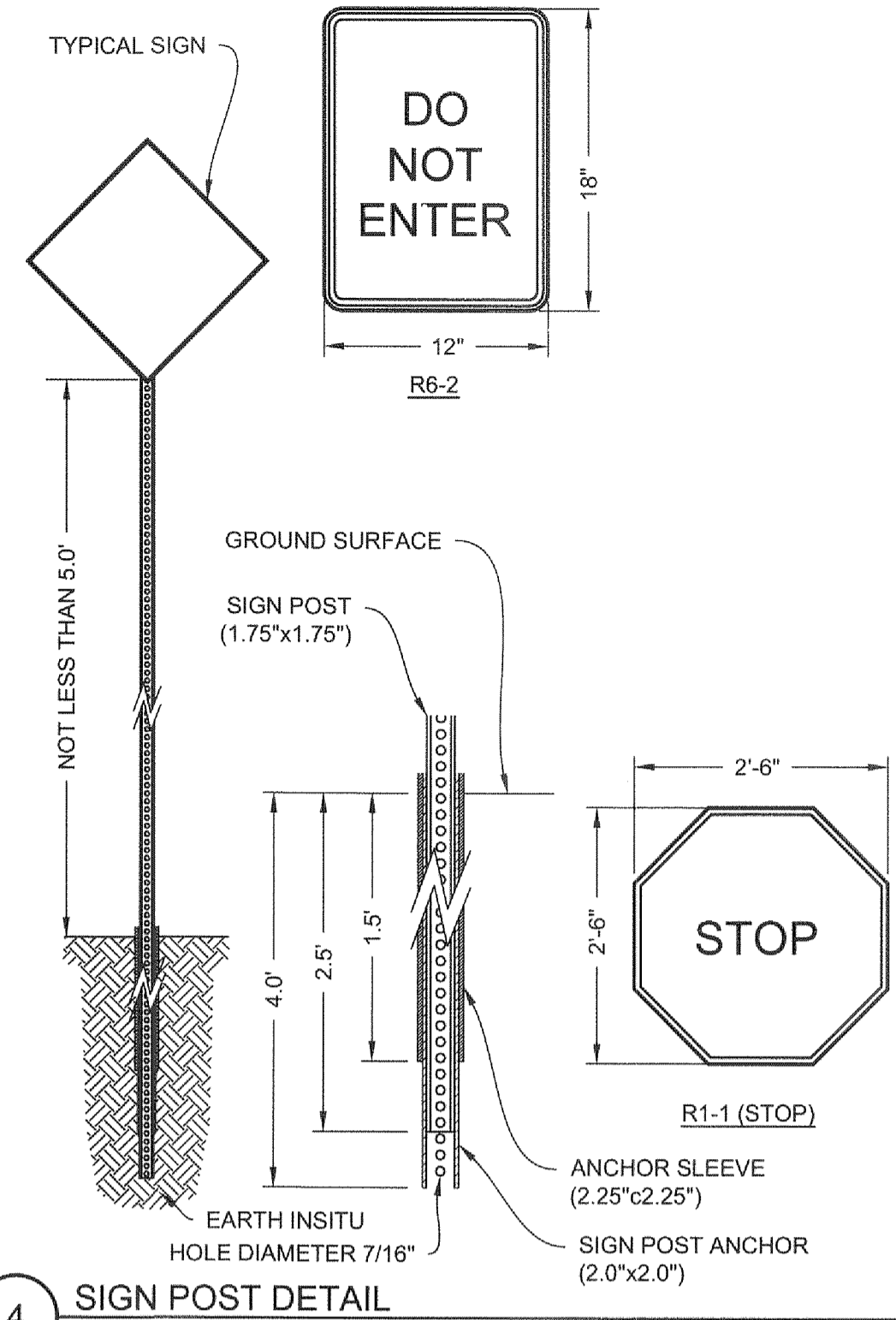
3 BIT. CONC. PAVE. SECTION - PARKING LOT  
NOT TO SCALE



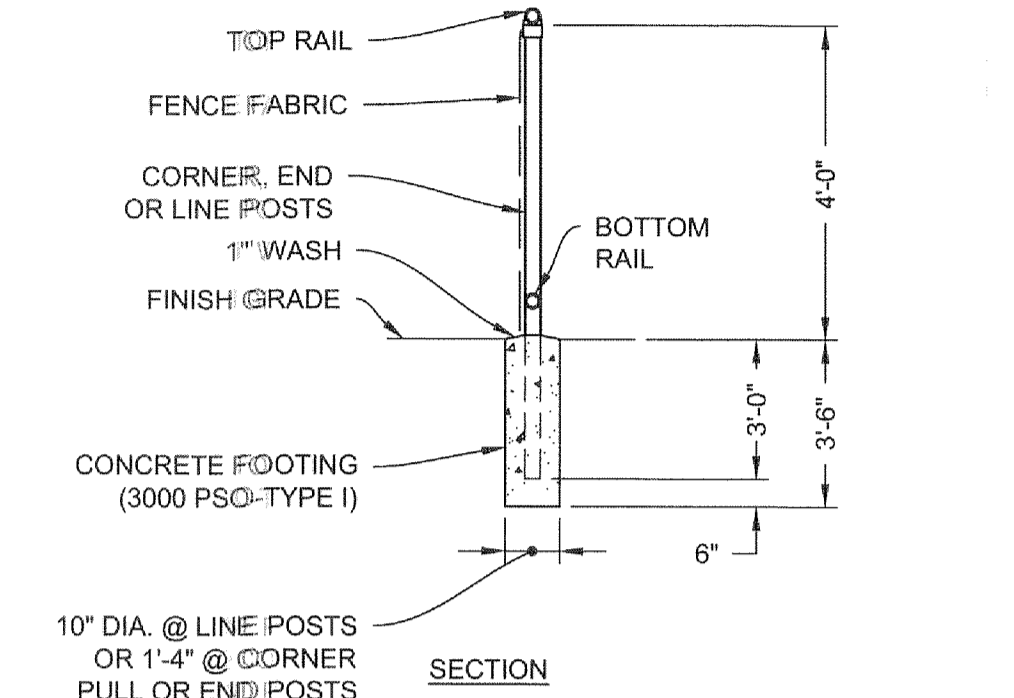
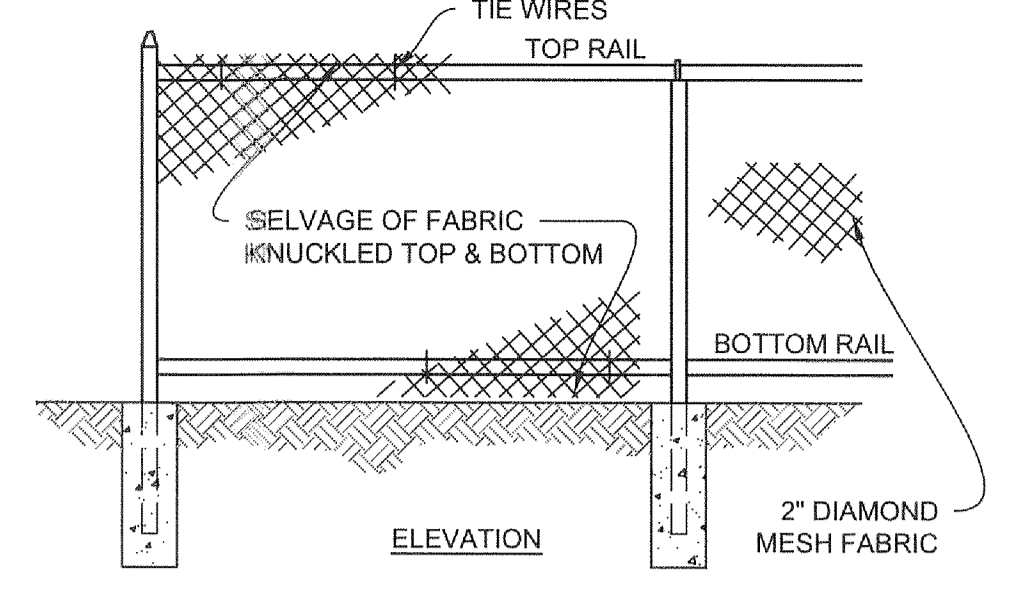
7 TYPICAL CONCRETE PAD SECTION  
NOT TO SCALE



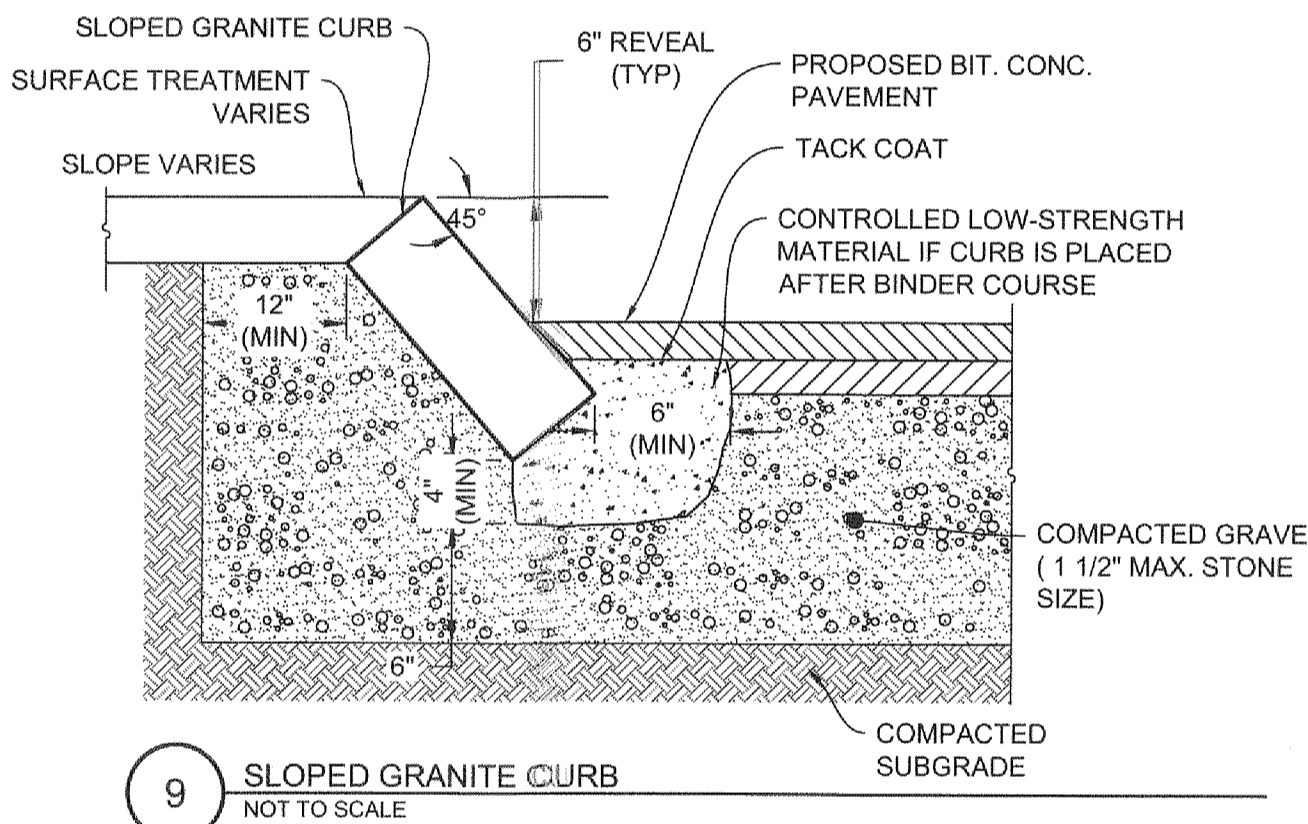
8 TYPICAL PRECAST CONCRETE SIDEWALK AND CURB SECTION  
NOT TO SCALE



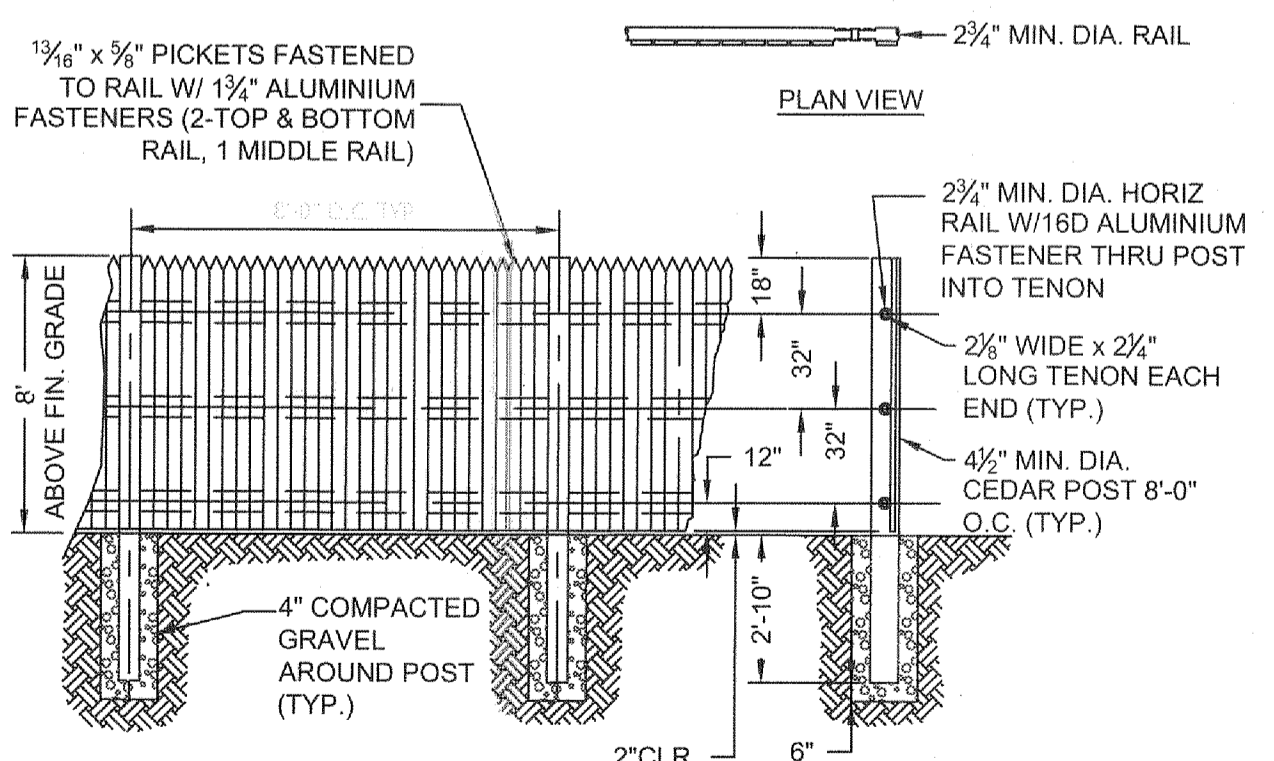
4 SIGN POST DETAIL  
NOT TO SCALE



5 CHAIN LINK FENCE UP TO 6'  
NOT TO SCALE

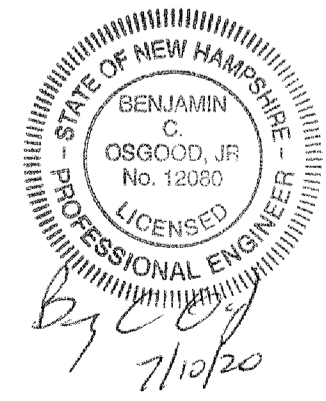


9 SLOPED GRANITE CURB  
NOT TO SCALE



12 8' STOCKADE FENCE  
NOT TO SCALE

- NOTES:
1. ALL FENCING MATERIAL SHALL BE NORTHERN WHITE CEDAR, SHOWN TO THE DIMENSIONS SHOWN ON THE DRAWING.
  2. ALL FENCE POSTS SHALL BE TREATED WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATION ON ALL SIDES FOR A DIMENSION OF 3'-0" FROM BUTT OF POST.
  3. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
  4. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
  5. GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW.



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**SITE DETAILS**  
CS6001

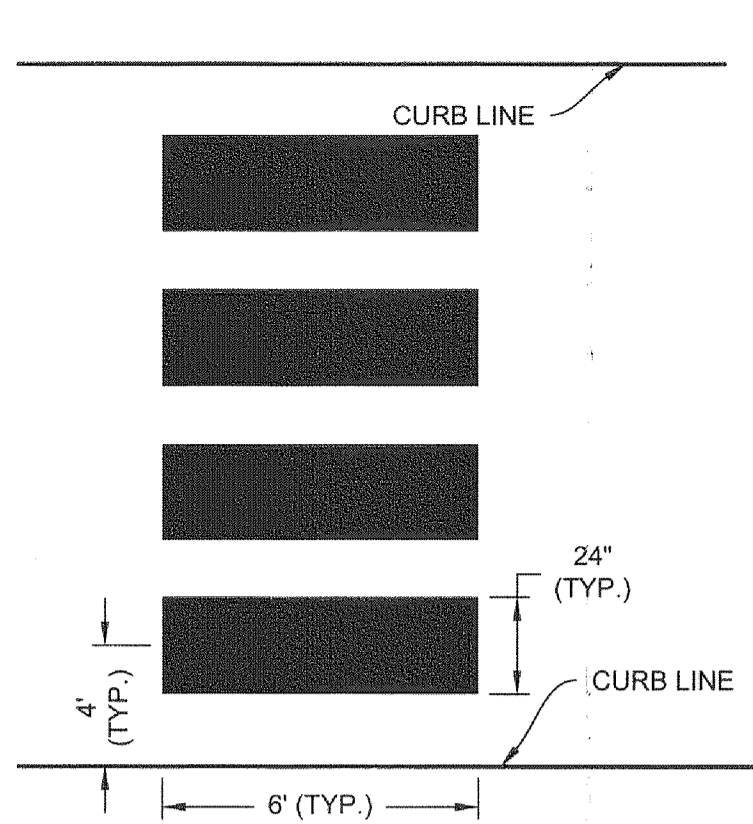
**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

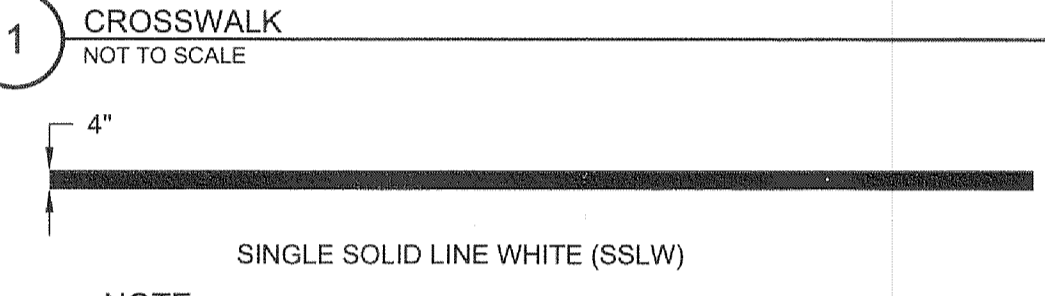
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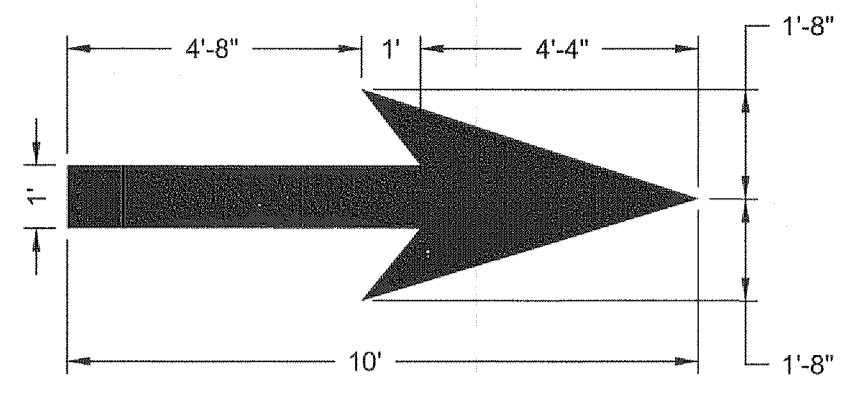




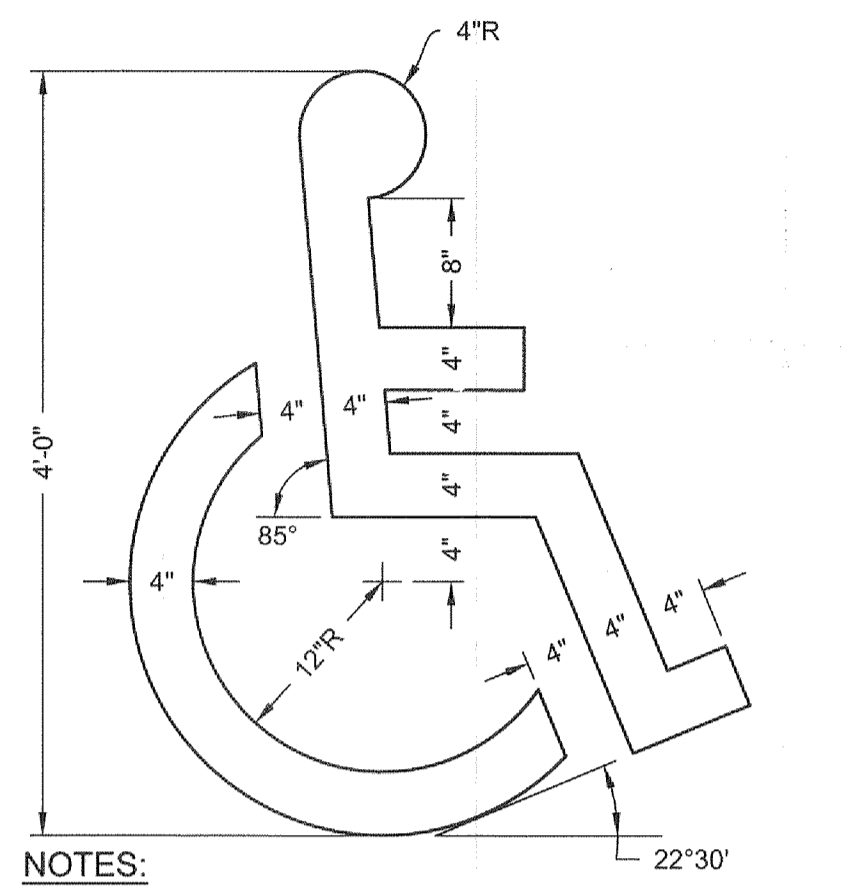
- NOTES:**
- TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
  - LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURB LINE.
  - ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
  - CROSS WALK SIDE SLOPE SHALL NOT EXCEED 1.5%.



- NOTE:**
- ALL MARKINGS SHALL BE WHITE TRAFFIC PAINT, MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.

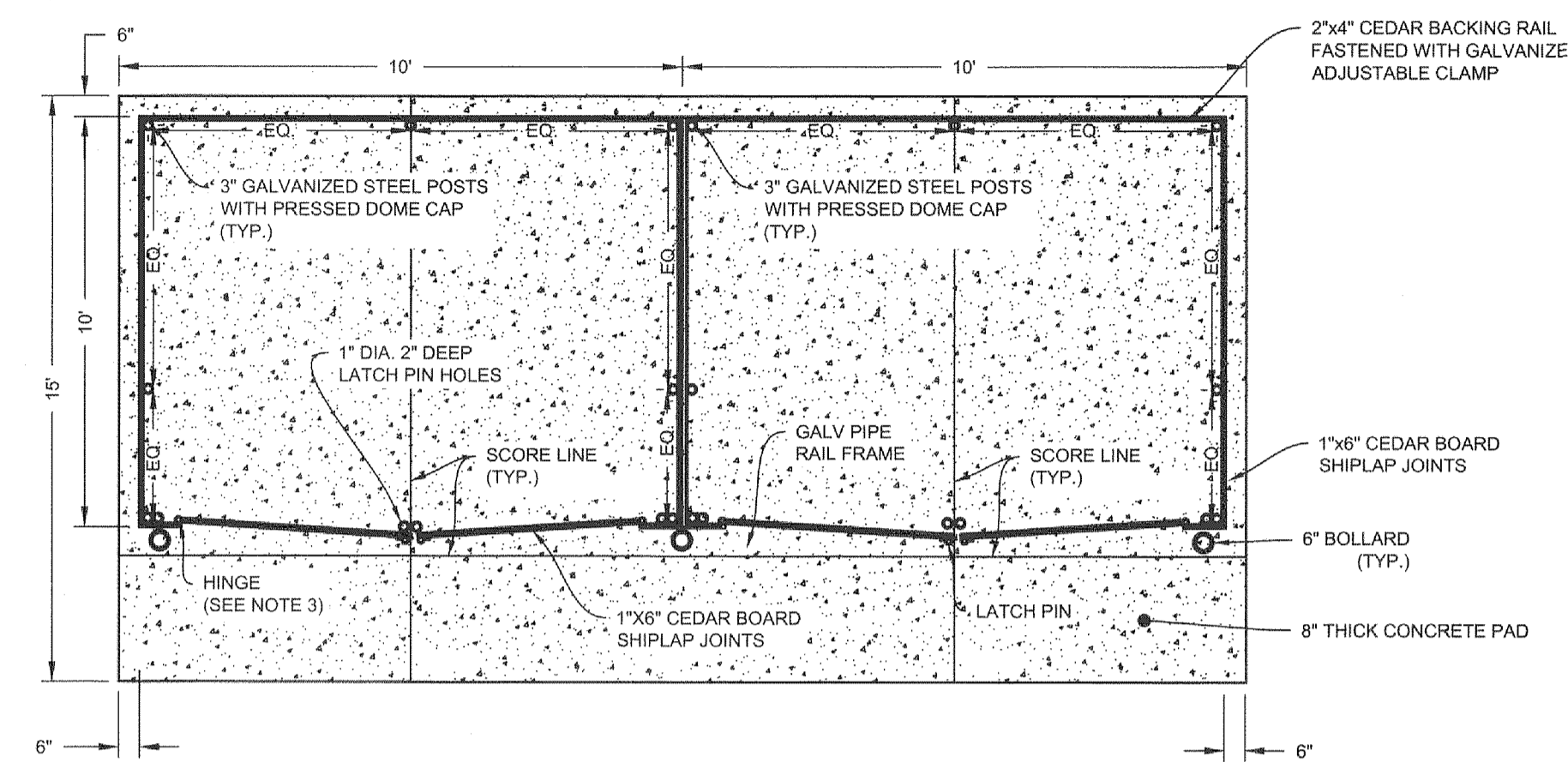


**3 STRAIGHT ARROW**  
NOT TO SCALE



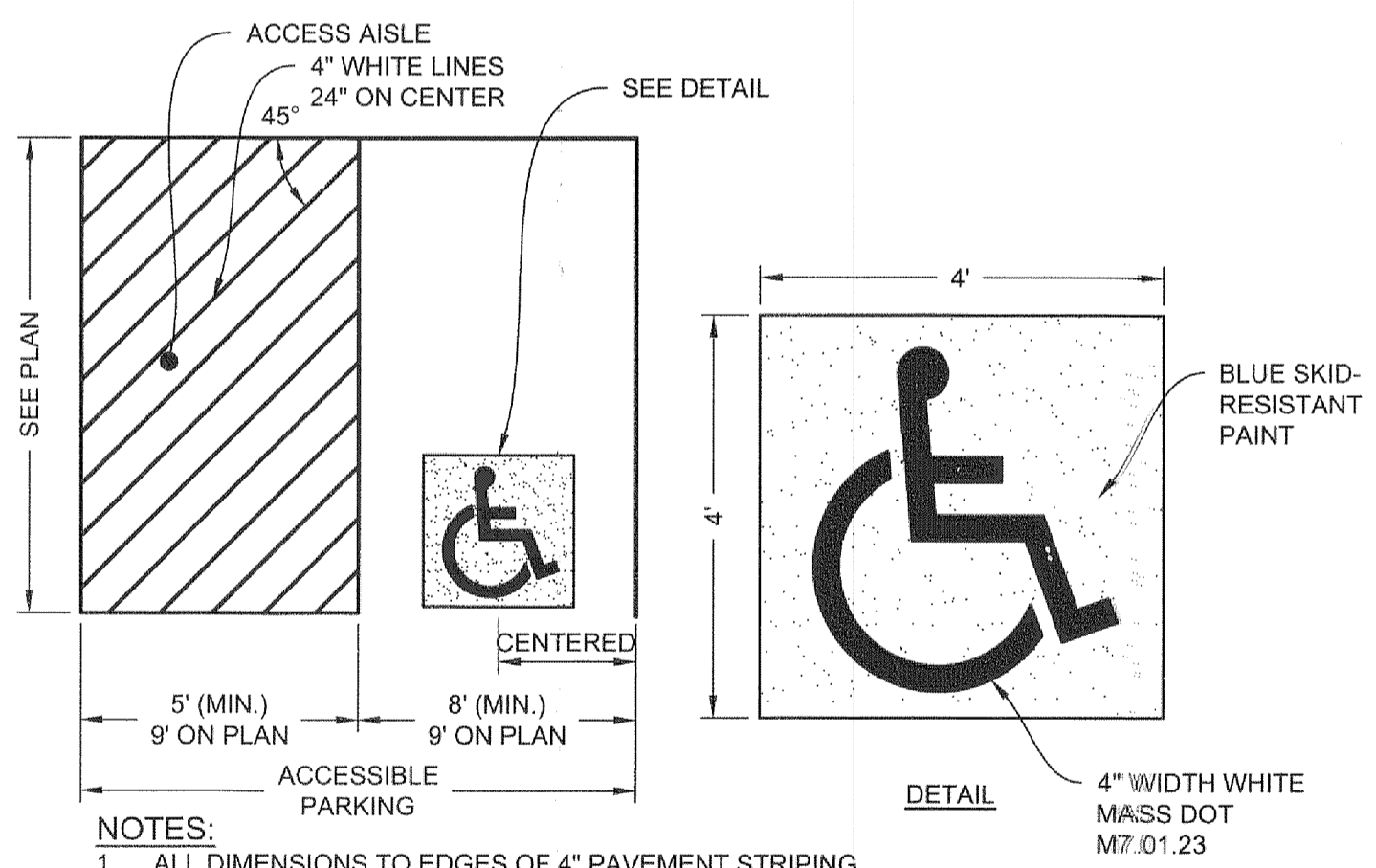
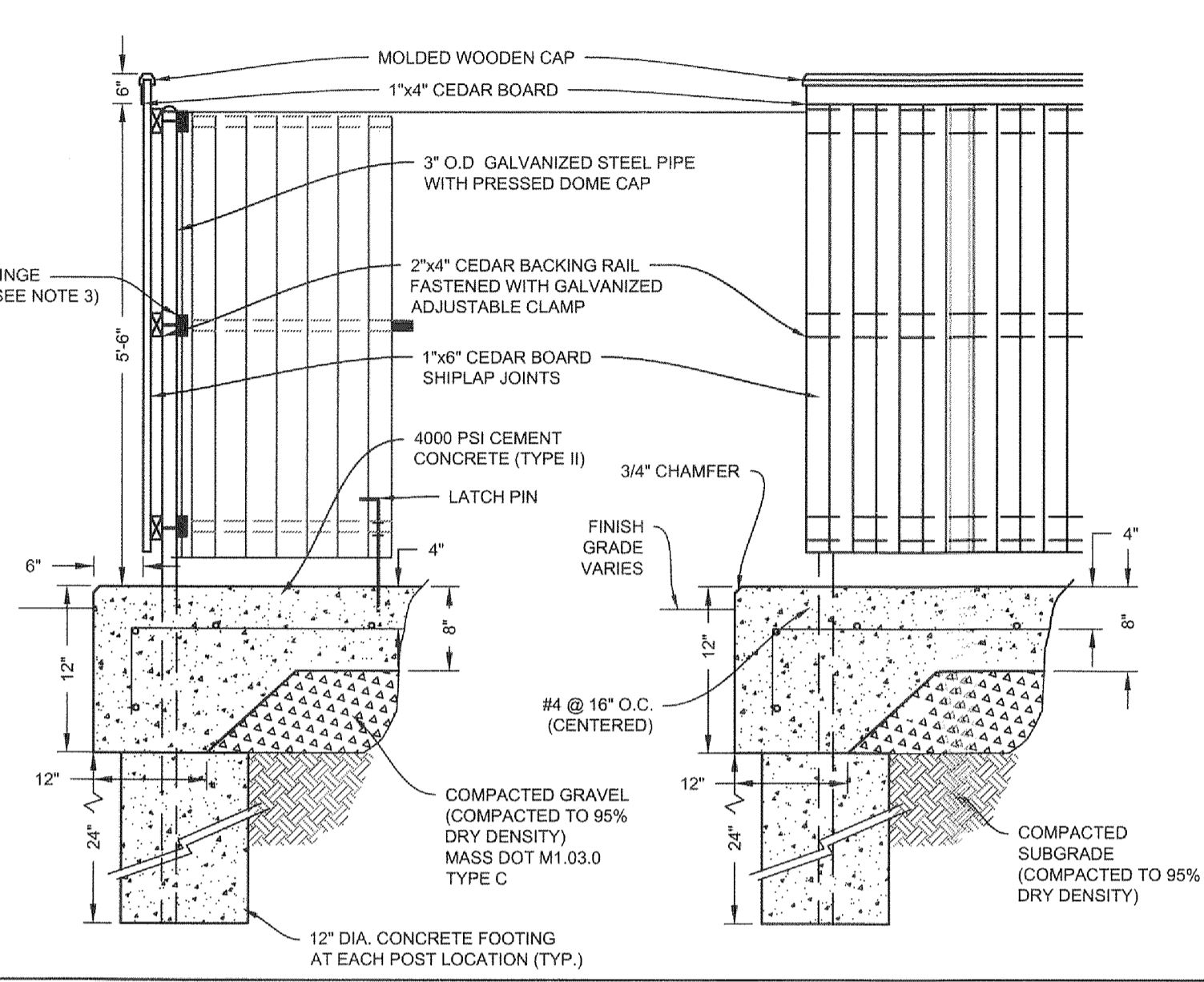
- NOTES:**
- SYMBOL SHALL BE CENTERED IN THE PARKING STALL AND SHALL BE WHITE.
  - PAVEMENT MARKING STRIPES SHALL BE WHITE. (DOUBLE STRIPED - SEE STALL LAYOUT DETAIL) MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
  - SYMBOL TO BE PAINTED IN ALL HANDICAP SPACES.

**4 ACCESSIBLE PARKING SPACE SYMBOL**  
NOT TO SCALE



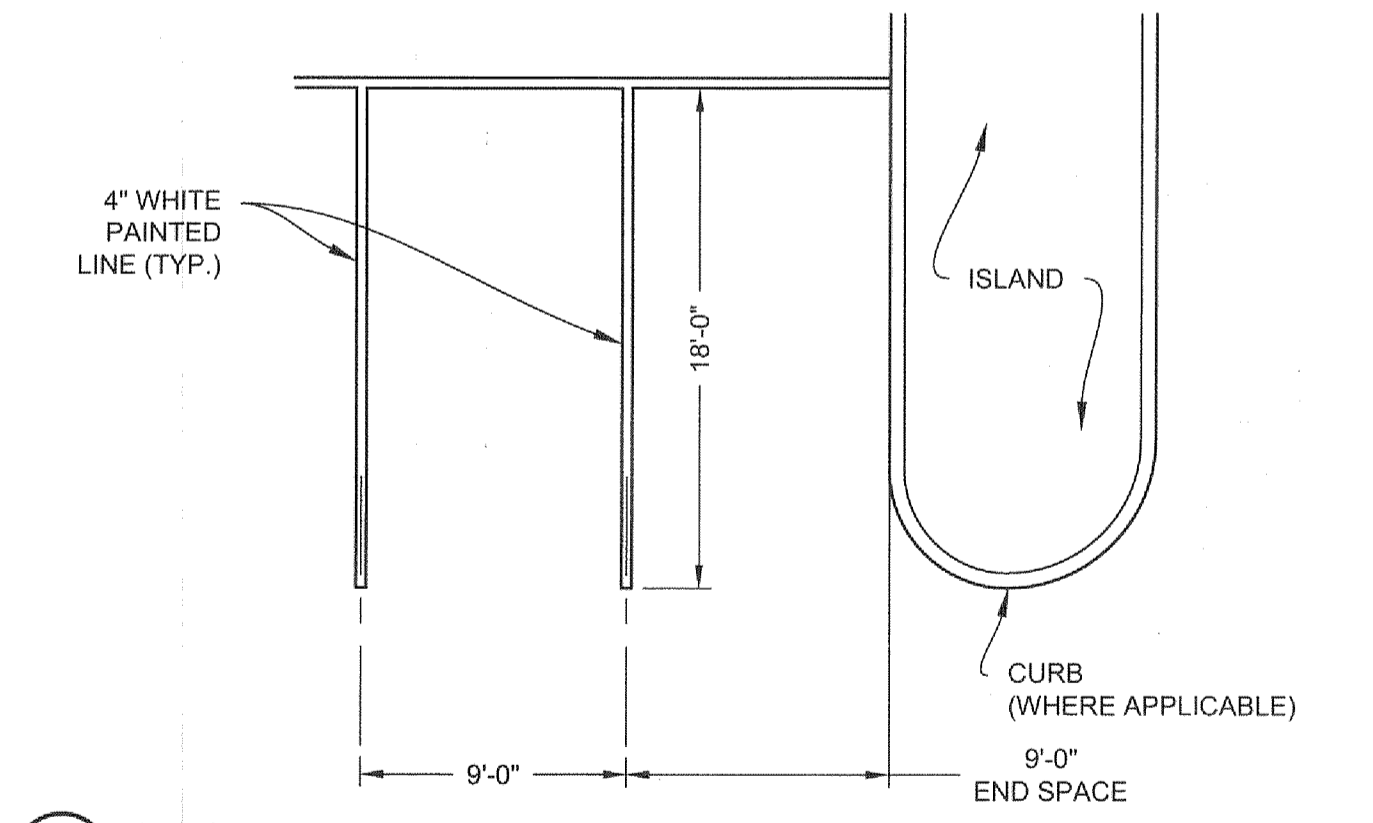
- PLAN VIEW**  
**DUMPSTER PAD NOTES**
- SIZE OF DUMPSTER PAD TO BE AS INDICATED ON PLANS.
  - CONSTRUCTION JOINTS SHALL BE PLACED NO MORE THAN 40 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF PAD.
  - ALL HINGES TO BE SELF CLOSING SPRING HINGE FOR A MINIMUM 300 LB GATE CARRYING A 700LB POINT LOAD.

**5 DUMPSTER PAD WITH ENCLOSURE**  
NOT TO SCALE

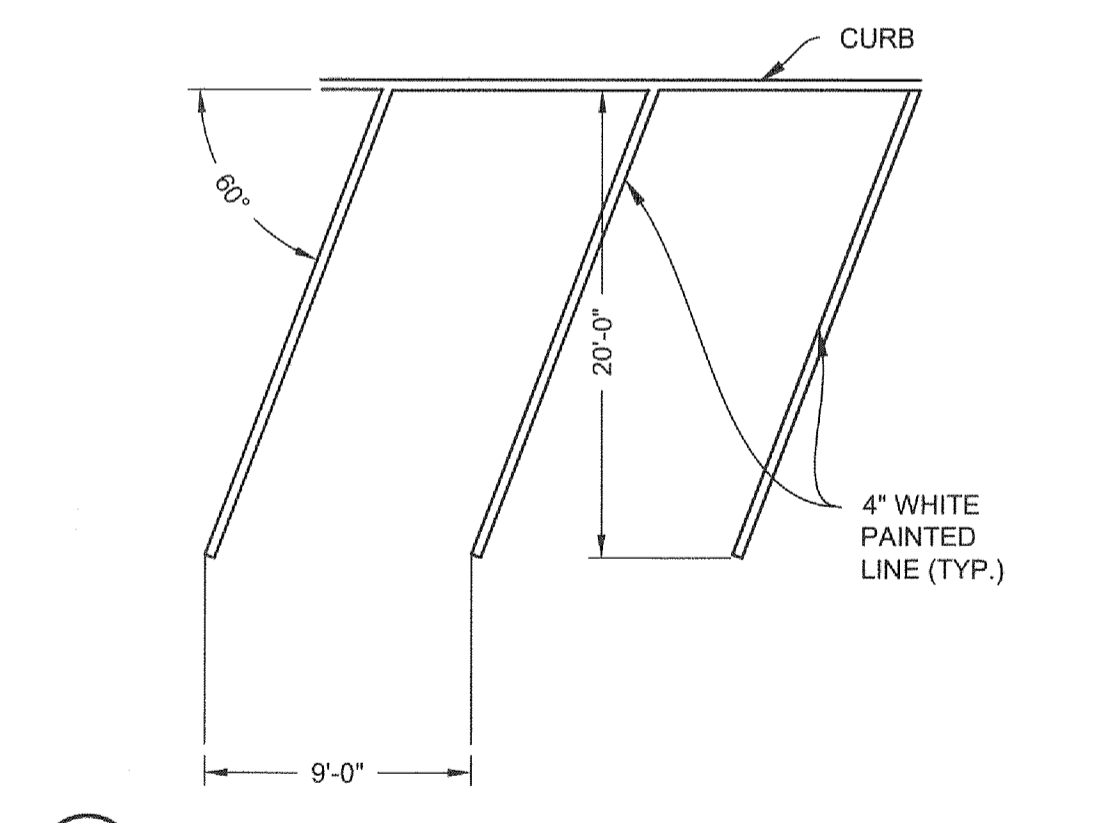


- NOTES:**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  - ALL STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS UNLESS OTHERWISE NOTED. MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
  - 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

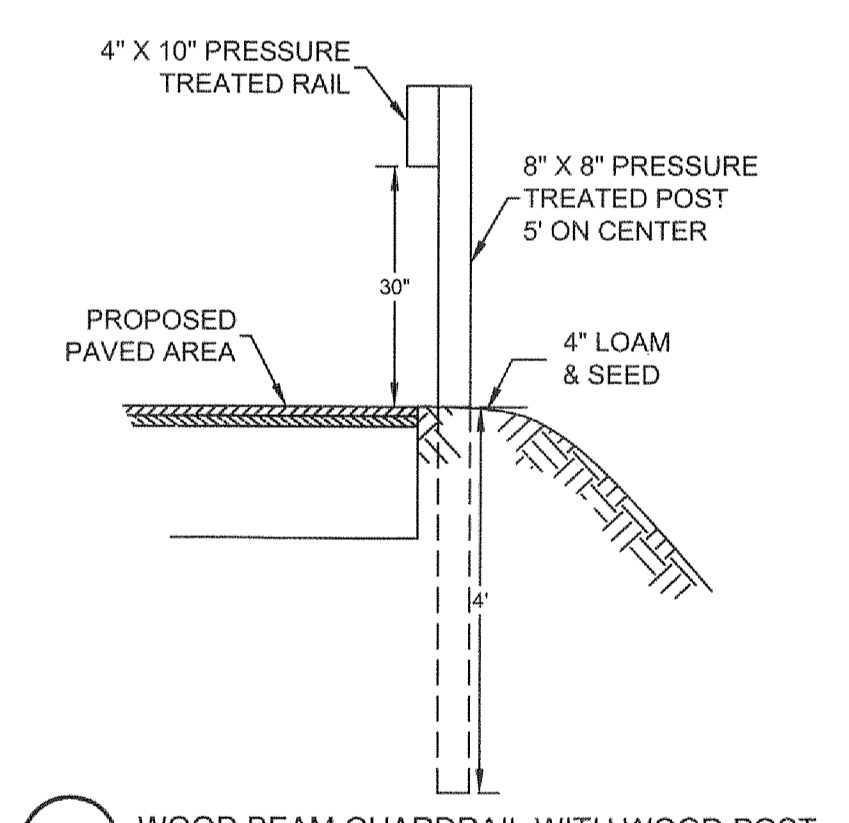
**6 ACCESSIBLE PARKING SPACE**  
NOT TO SCALE



**7 SINGLE-STRIPED PARKING PAVEMENT MARKING**  
NOT TO SCALE



**8 SINGLE-STRIPED PARKING PAVEMENT MARKING**  
NOT TO SCALE



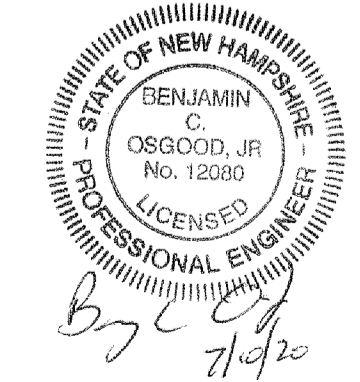
**9 WOOD BEAM GUARDRAIL WITH WOOD POST**  
NOT TO SCALE

DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**SITE DETAILS**  
CS6002

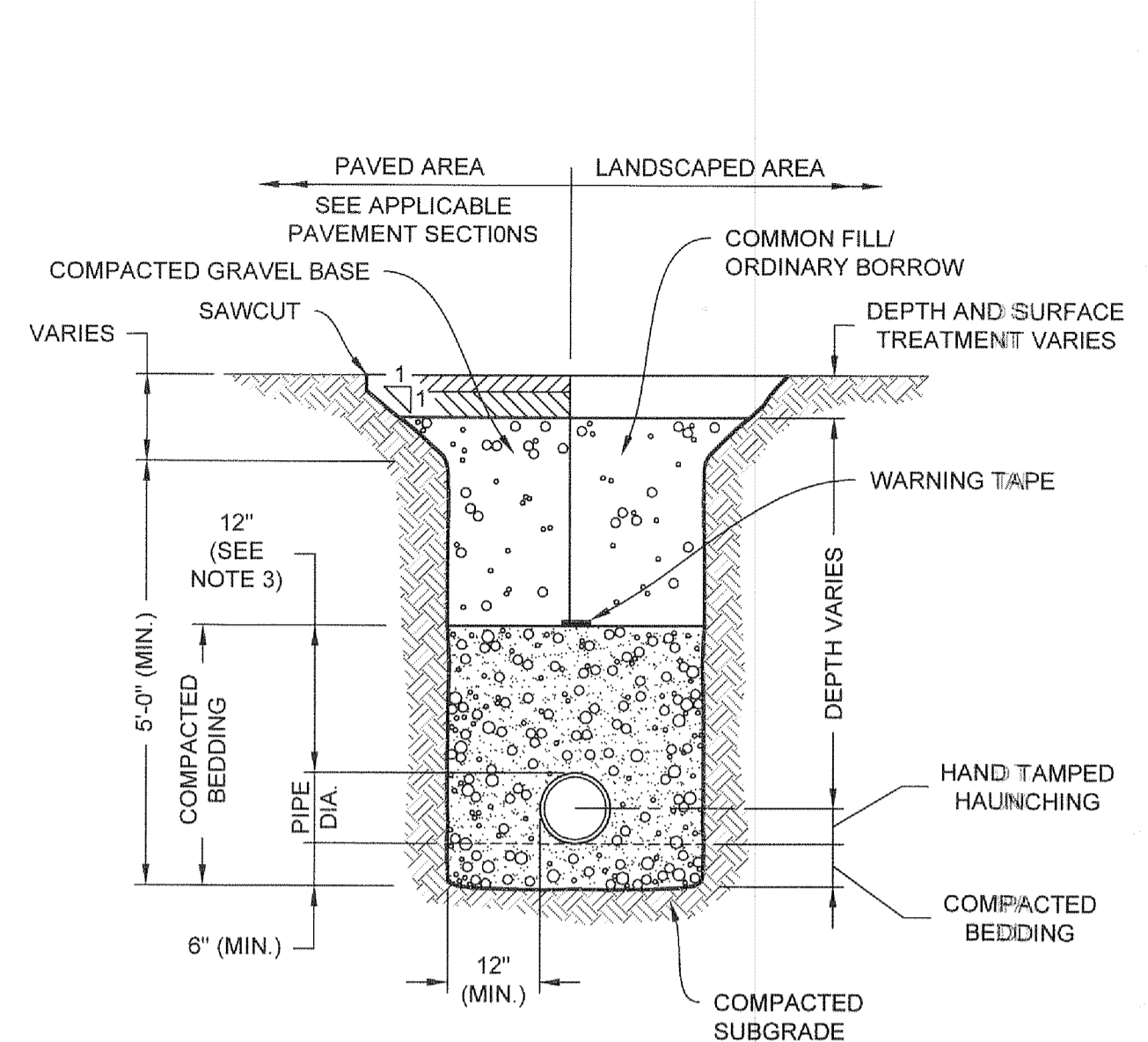


**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

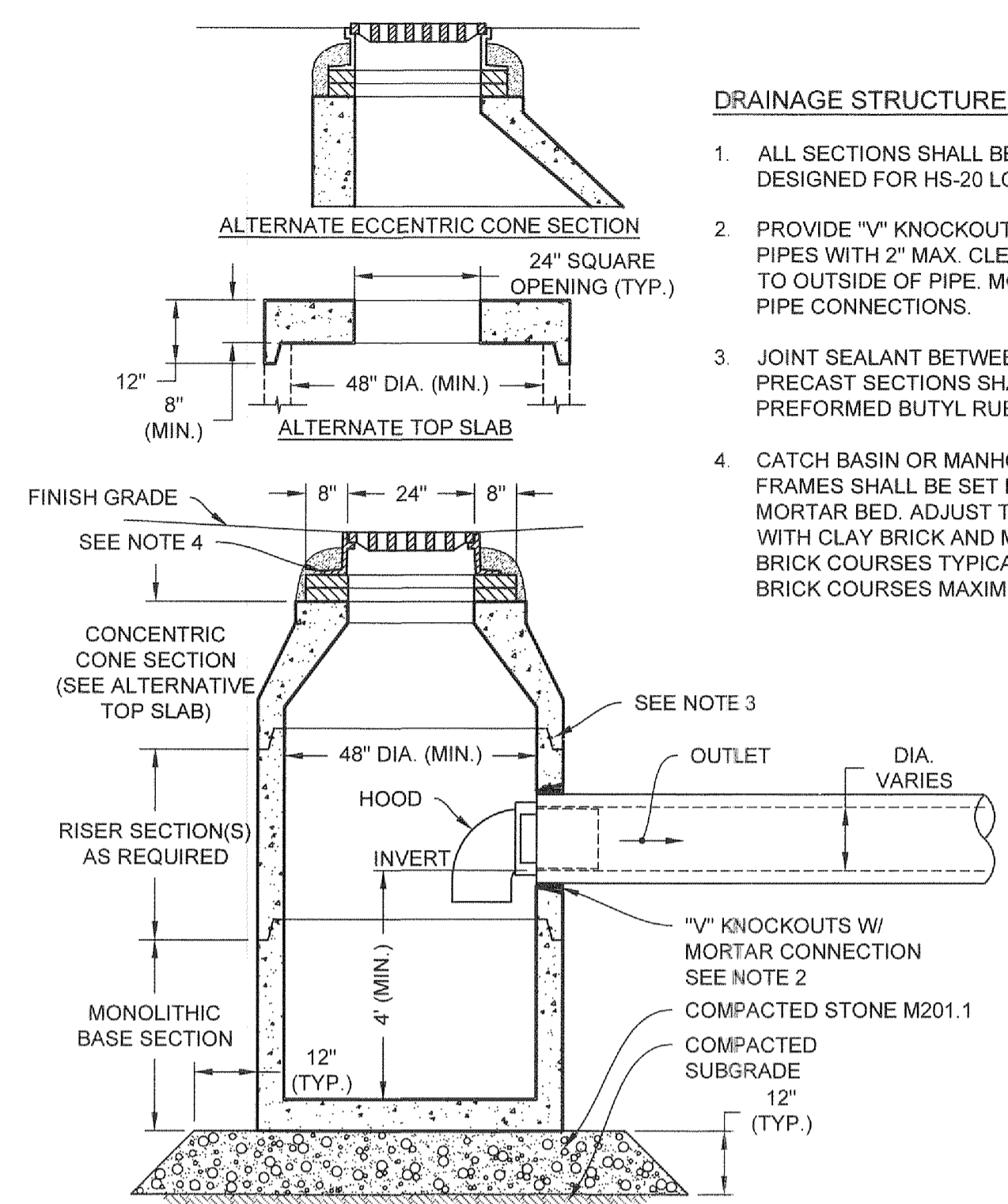
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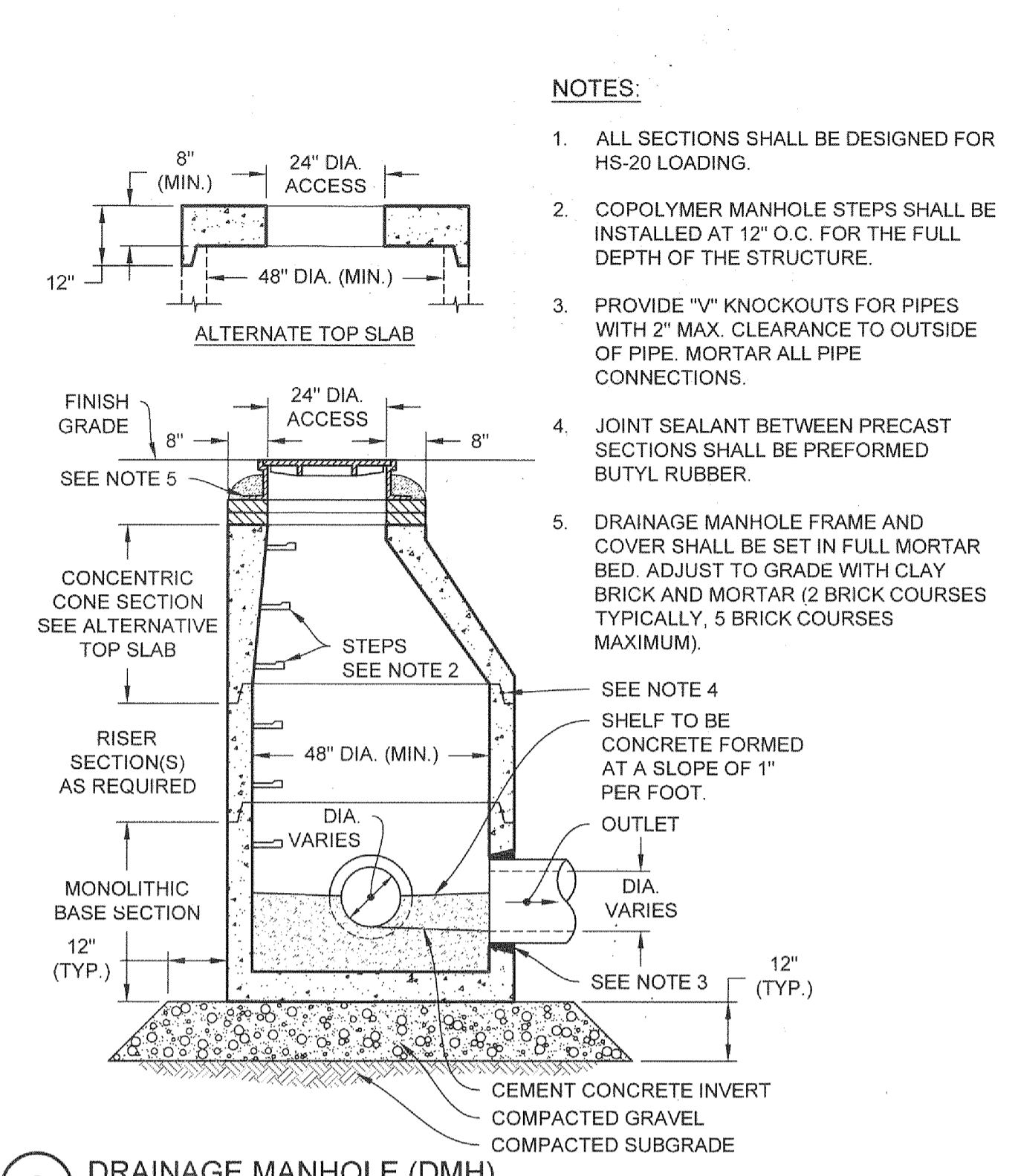
- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
  - FOR HDPE PIPE, DIMENSION IS 24 INCHES.

**1 DRAINAGE TRENCH**  
NOT TO SCALE



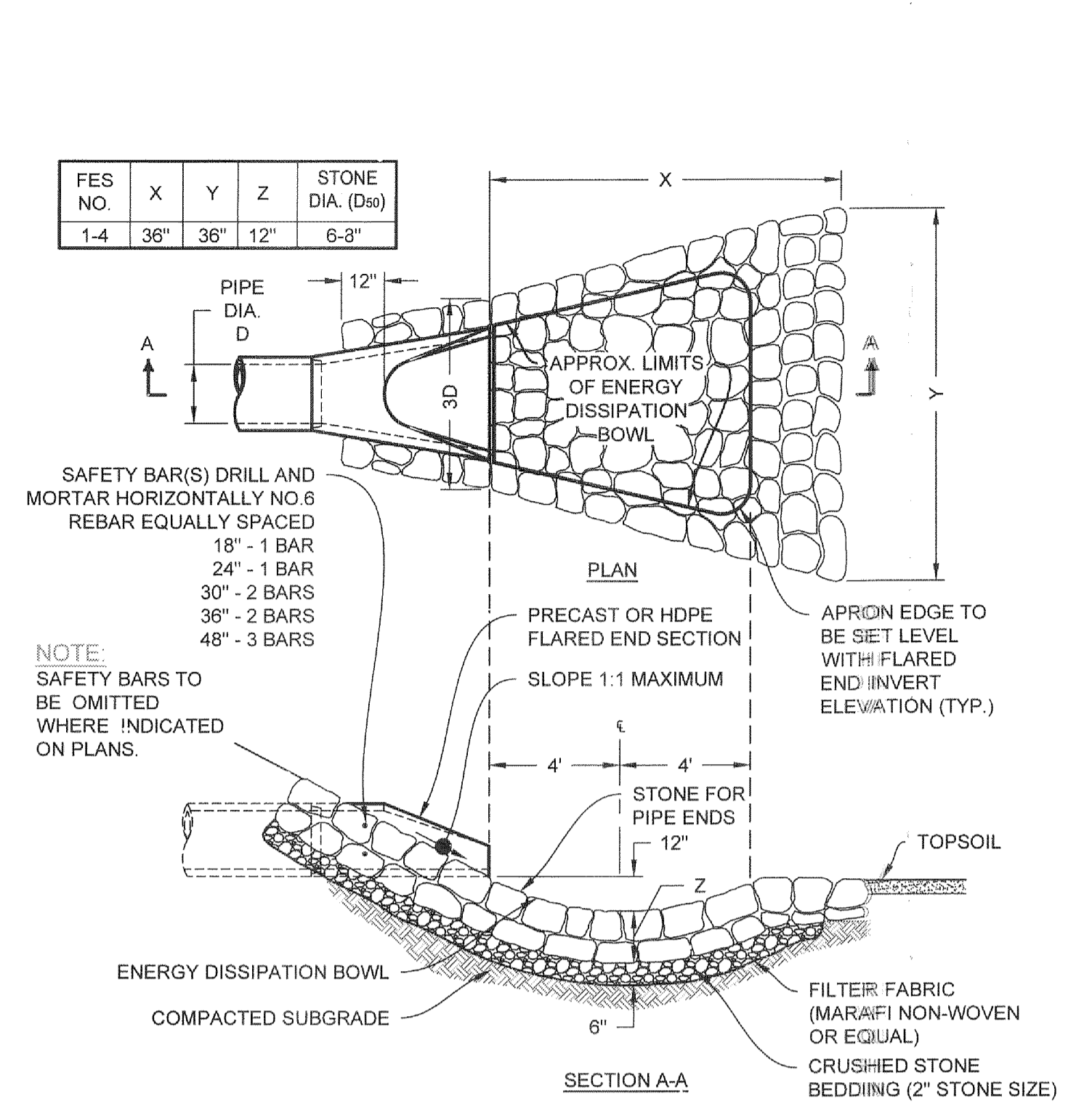
- DRAINAGE STRUCTURE NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - CATCH BASIN OR MANHOLE FRAMES SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

**2 CATCH BASIN (CB) WITH HOOD**  
NOT TO SCALE

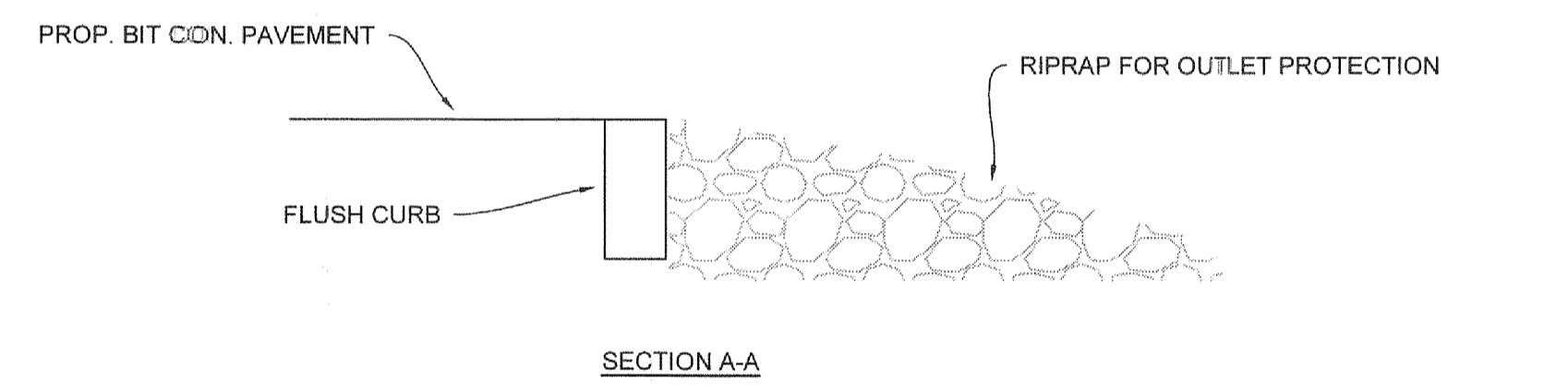


- NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - DRAINAGE MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

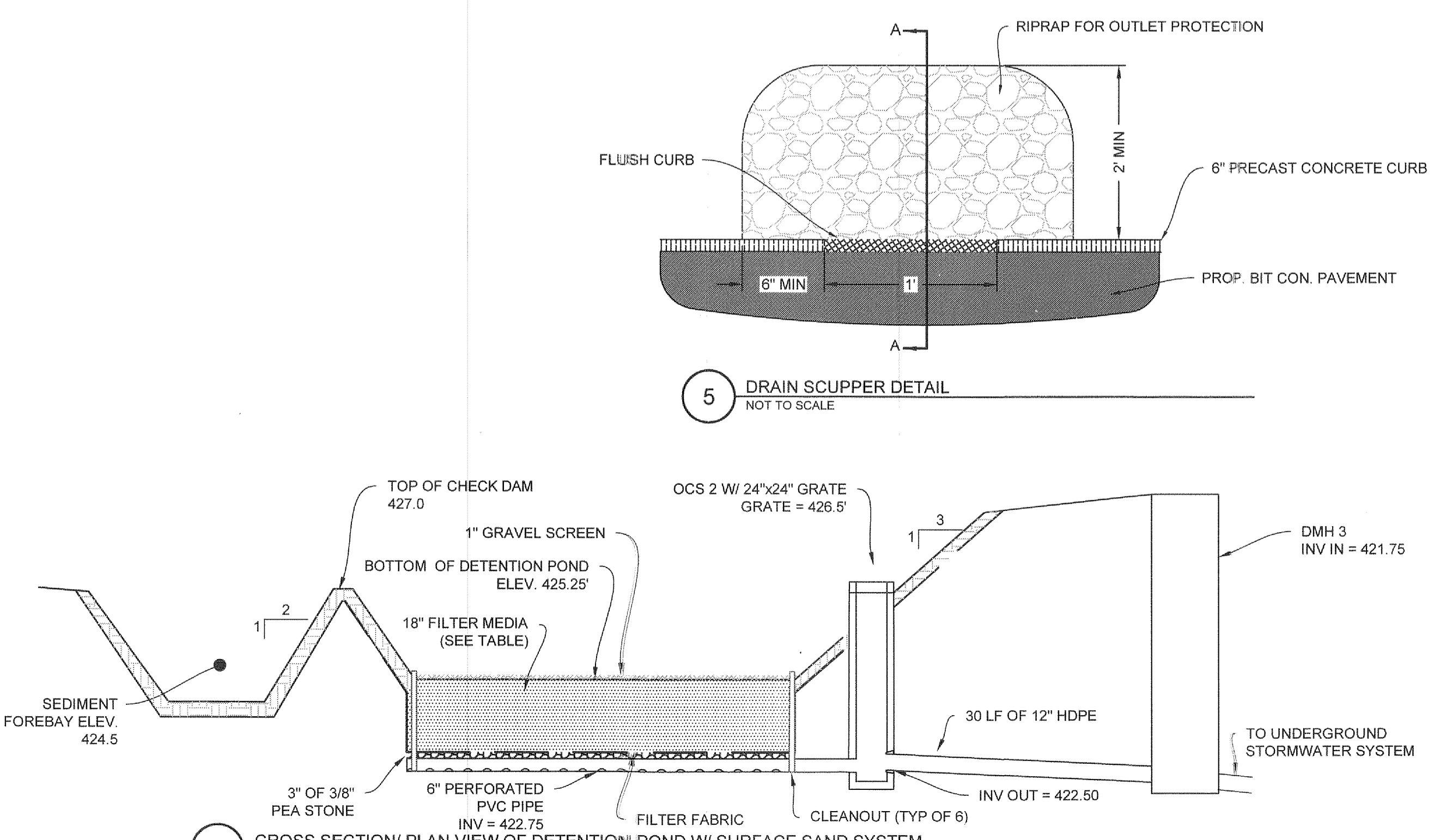
**3 DRAINAGE MANHOLE (DMH)**  
NOT TO SCALE



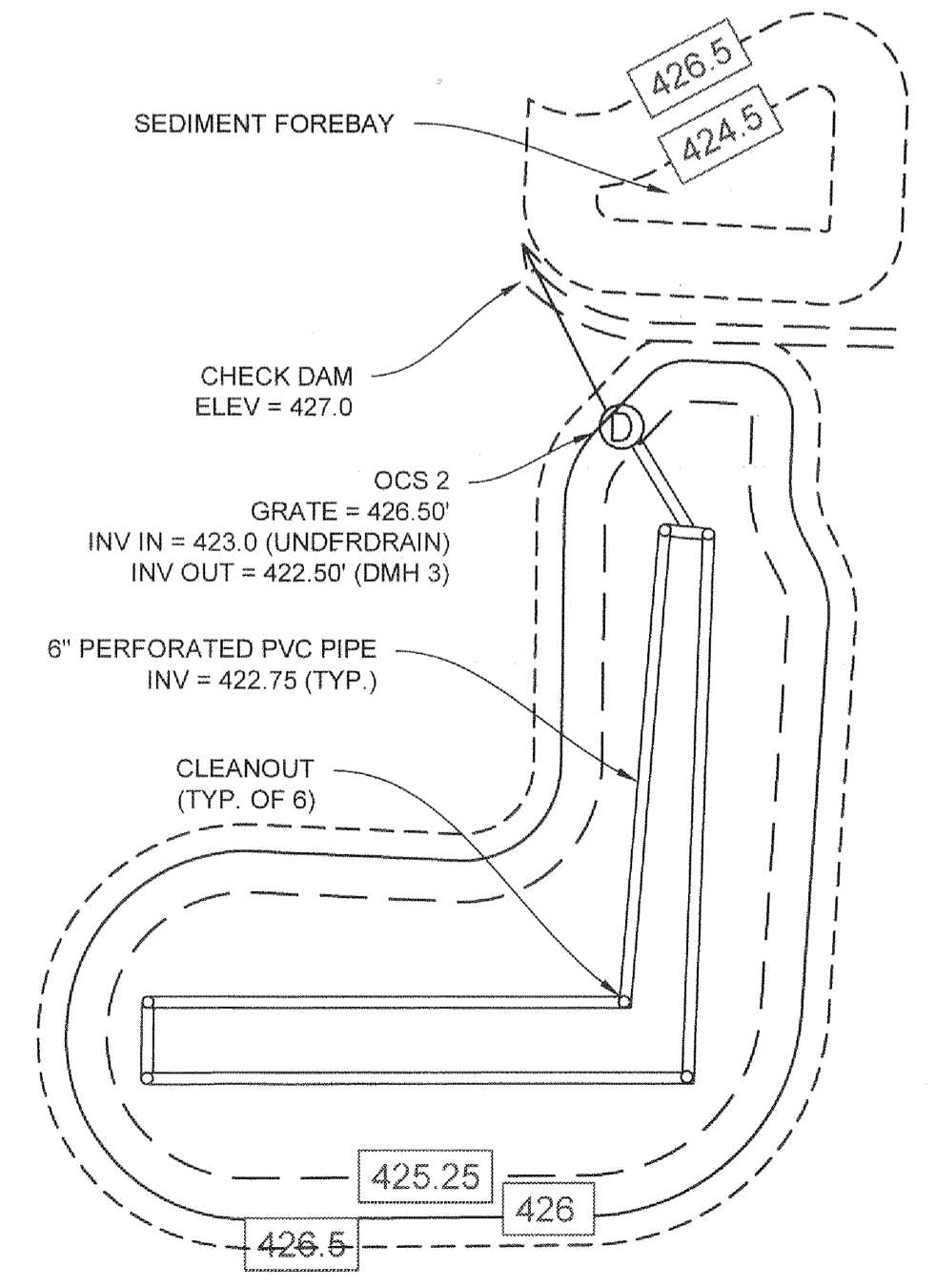
**4 FLARED END SECTION (FES) WITH STONE PROTECTION**  
NOT TO SCALE



**5 DRAIN SCUPPER DETAIL**  
NOT TO SCALE

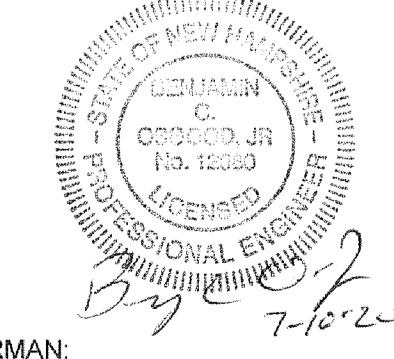


**6 CROSS SECTION/ PLAN VIEW OF DETENTION POND W/ SURFACE SAND SYSTEM**  
NOT TO SCALE



**Table 4-3. Filter Mixtures**

Component Material	Percent of Mixture by Volume	Gradation of Material	
		Sieve No.	Percent by Weight Passing Standard Sieve
<b>Filter Media Option A</b>			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
<b>Filter Media Option B</b>			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
Loamy coarse sand		20	70 to 100
		60	15 to 40
		200	8 to 15



WARNER PLANNING BOARD CHAIRMAN:

DATE:

DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

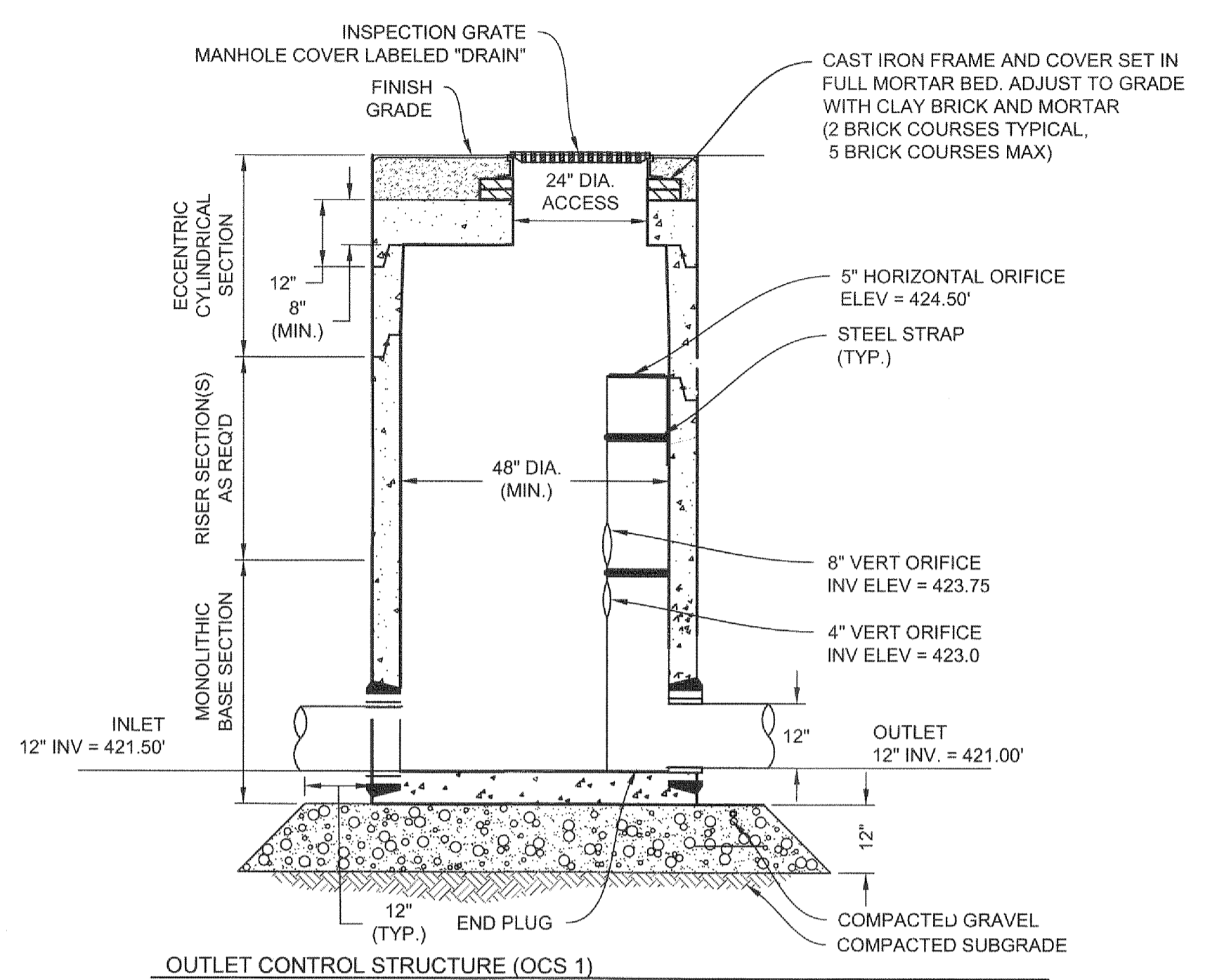
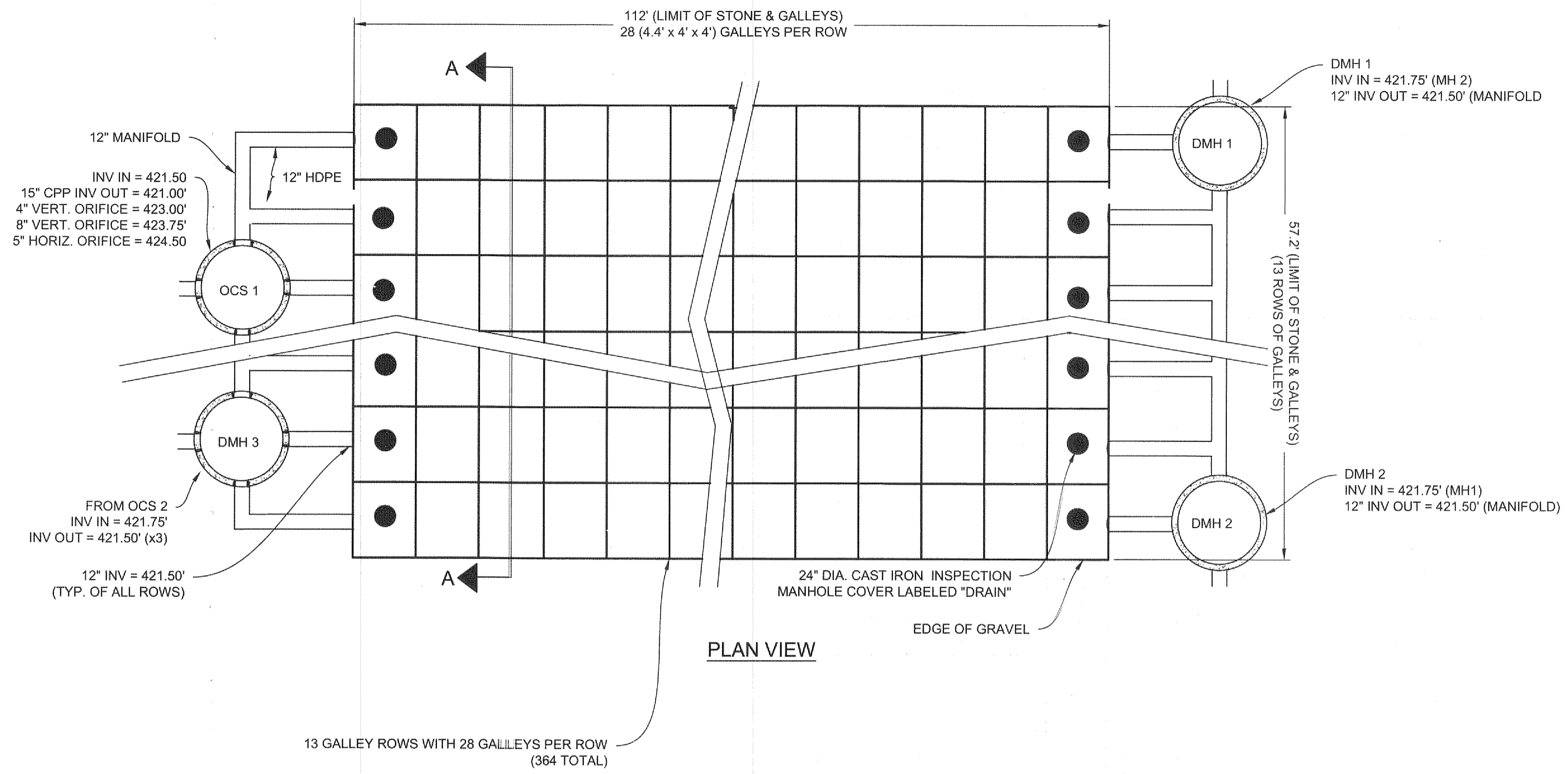
**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

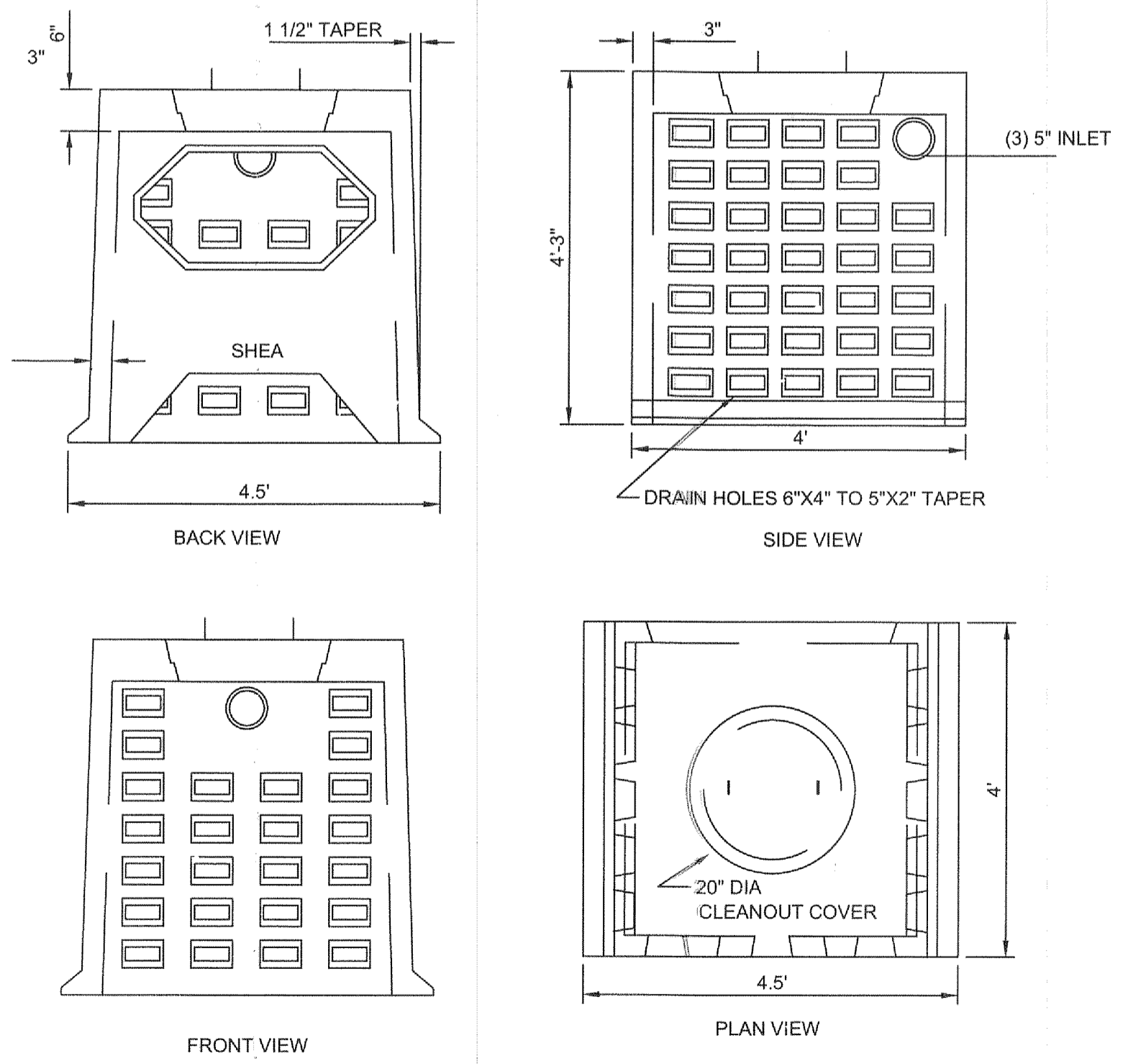
**DRAINAGE DETAILS**  
CS6021

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

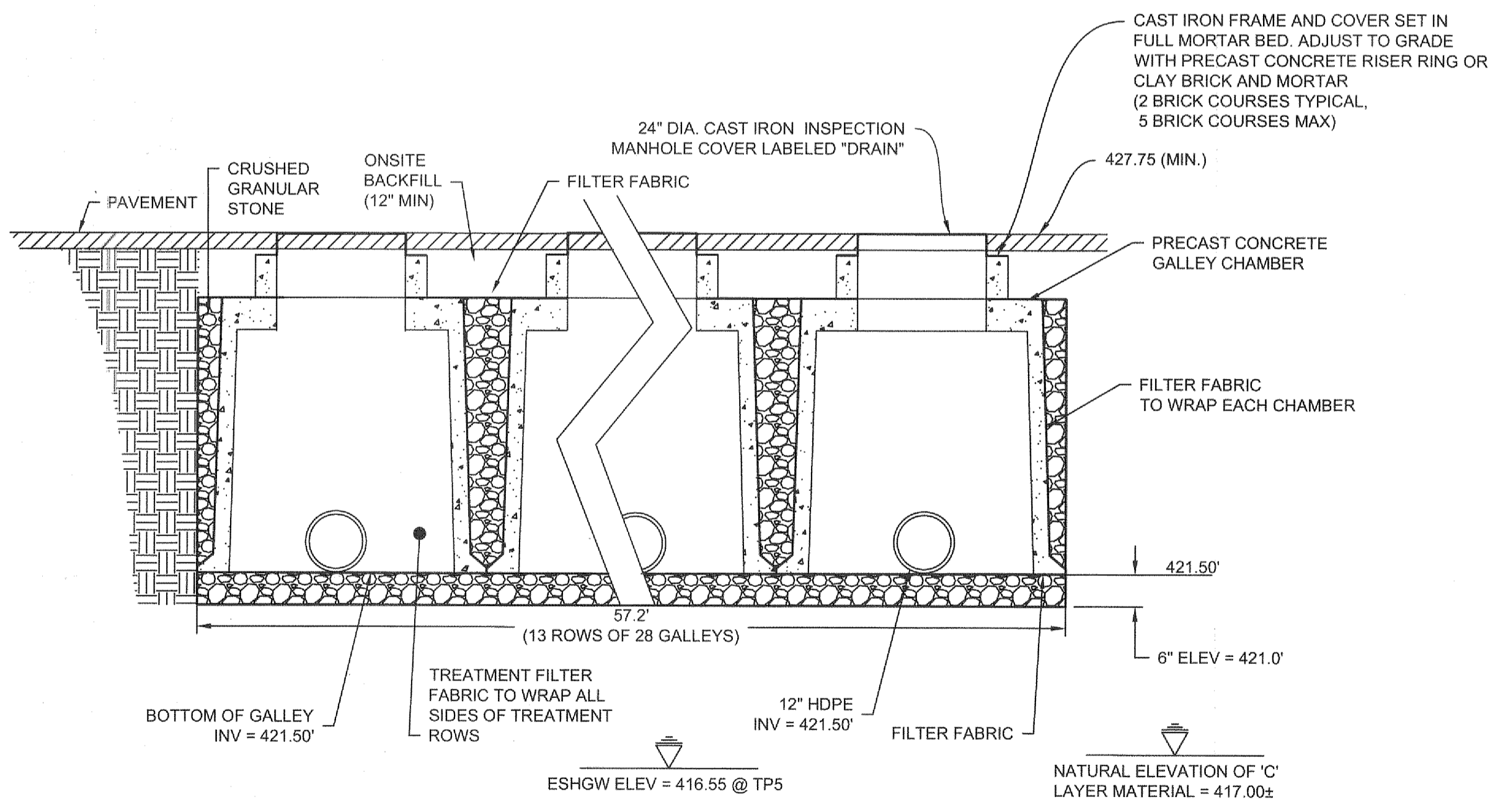




1 UNDERGROUND GALLEY STORMWATER STORAGE SYSTEM 3  
NOT TO SCALE



2 TYPICAL 4'x4'x3' GALLEY (POND 3)  
NOT TO SCALE



NOTE:  
1. EXISTING FILL MATERIAL BELOW THE PROPOSED INFILTRATION SYSTEM SHALL BE REMOVED TO APPROXIMATELY ELEVATION 417' TO EXPOSE THE NATURAL 'C' LAYER SOIL. SAND FILL WITH A HYDRAULIC CONDUCTIVITY RATE, AS VERIFIED BY IN PLACE TESTING, OF NO MORE THAN 10 INCHES PER HOUR SHALL BE USED TO REPLACE THE EXISTING FILL MATERIAL.

SECTION A-A  
NOT TO SCALE



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, ILLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

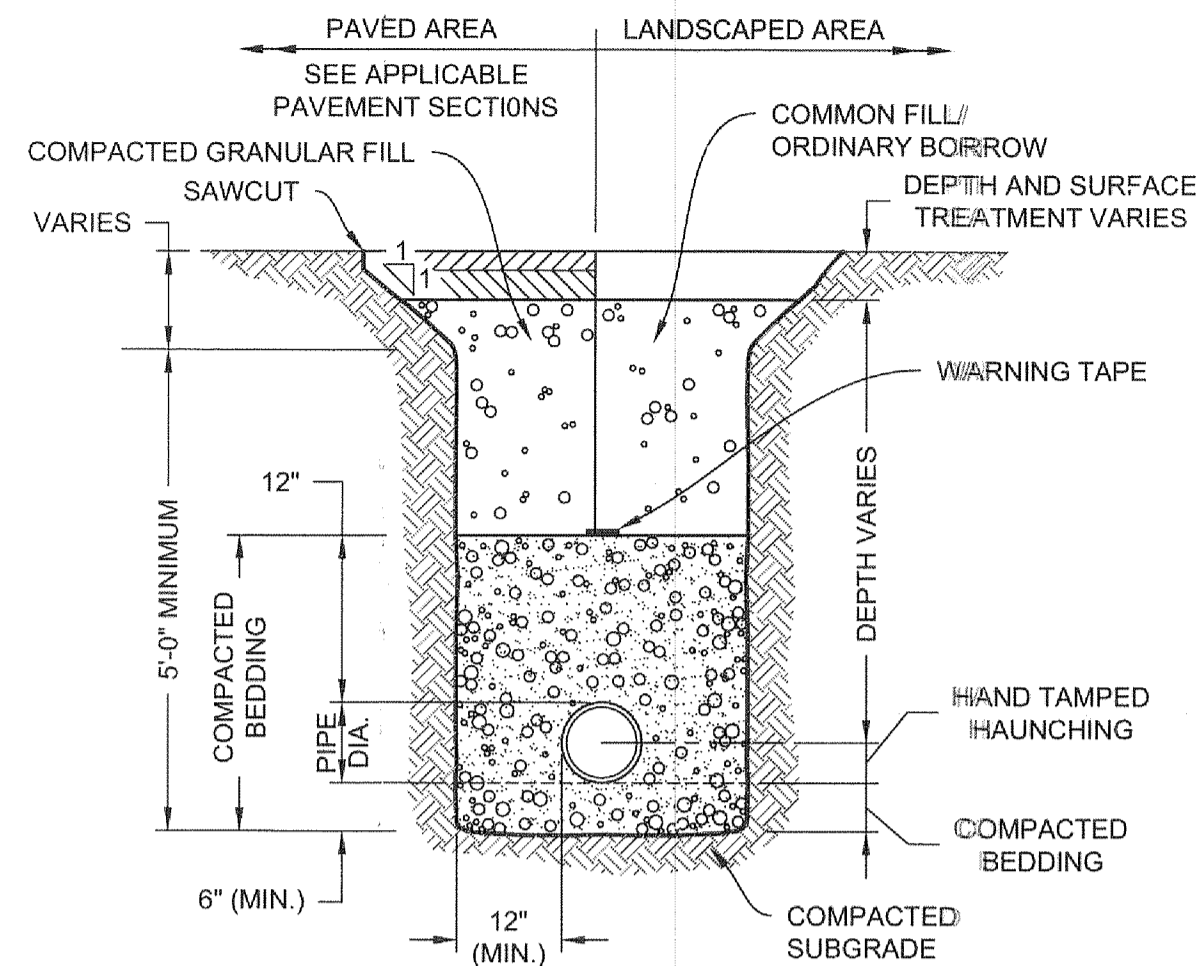
**STORMWATER STORAGE SYSTEM DETAILS**  
CS6022

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROJECT STATUS: PLOTTED: 7/10/2020 1:34 PM BY: JRM/RSR/PLT PLOTBY: TITEN NCS.dwg  
 CONPROJECTS@GBC.CHANNEL BUILDING 104 - Warner WILMINGTON, PUBLISHED: WINSYCS@GBC.dwg



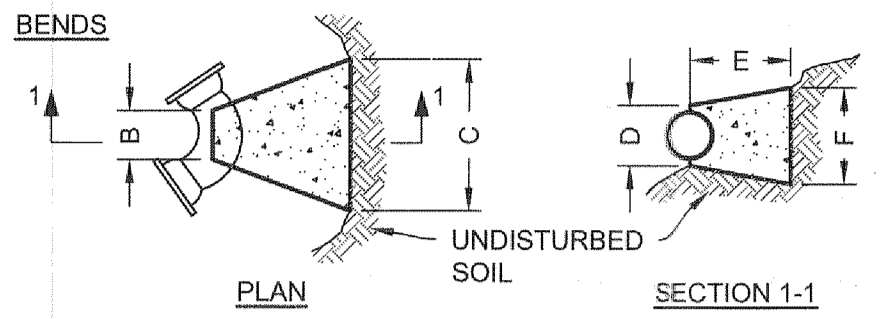


- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

**1 WATER TRENCH**  
NOT TO SCALE

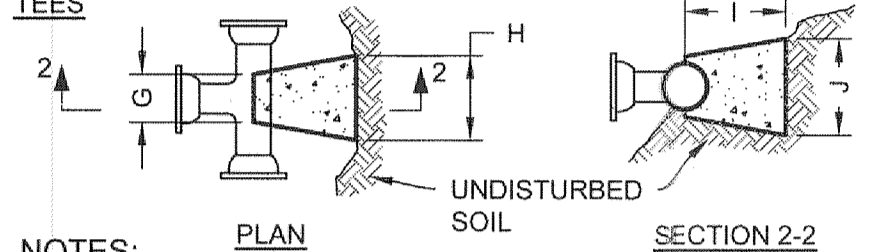
**TABLE OF DIMENSIONS**

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	12"	6"	45"	8"	30"	12"	24"
6"	22 1/2"	"	19"	"	"	13"	6"	90"	"	30"	"	27"
8"	11 1/4"	"	20"	"	"	12"	8"	45"	"	30"	"	24"
8"	22 1/2"	"	22"	"	"	17"	8"	90"	"	38"	"	36"
12"	11 1/4"	"	30"	"	"	15"	12"	45"	"	40"	"	40"
12"	22 1/2"	"	35"	"	"	25"	12"	90"	"	60"	"	52"



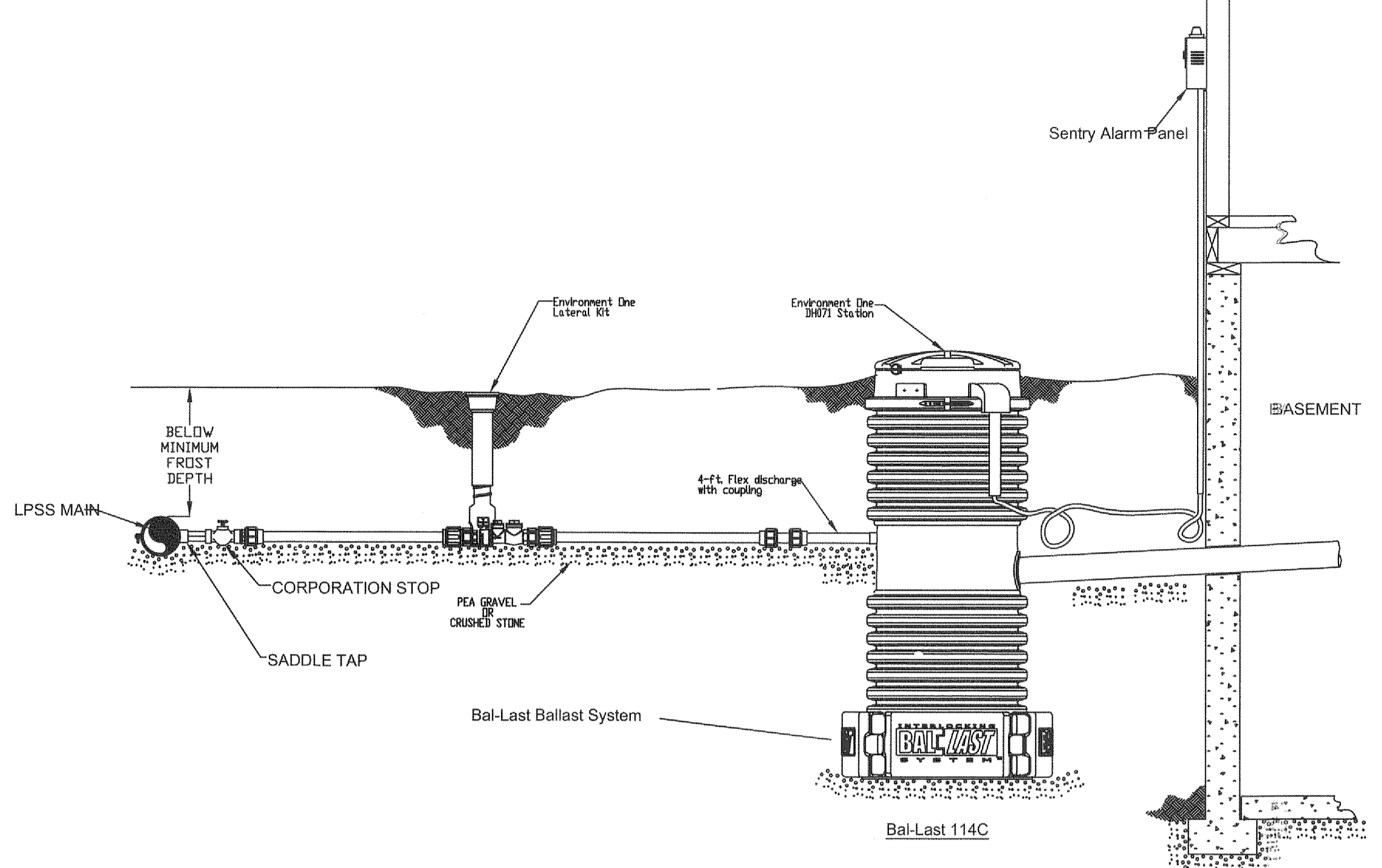
**TABLE OF DIMENSIONS**

TEES	G	H	I	J	TEES	G	H	I	J
6"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"
8"x 8"x 6"	"	"	"	"	12"x 12"x 8"	"	"	"	24"
8"x 8"x 8"	"	"	"	24"	12"x 12"x 12"	"	36"	"	36"

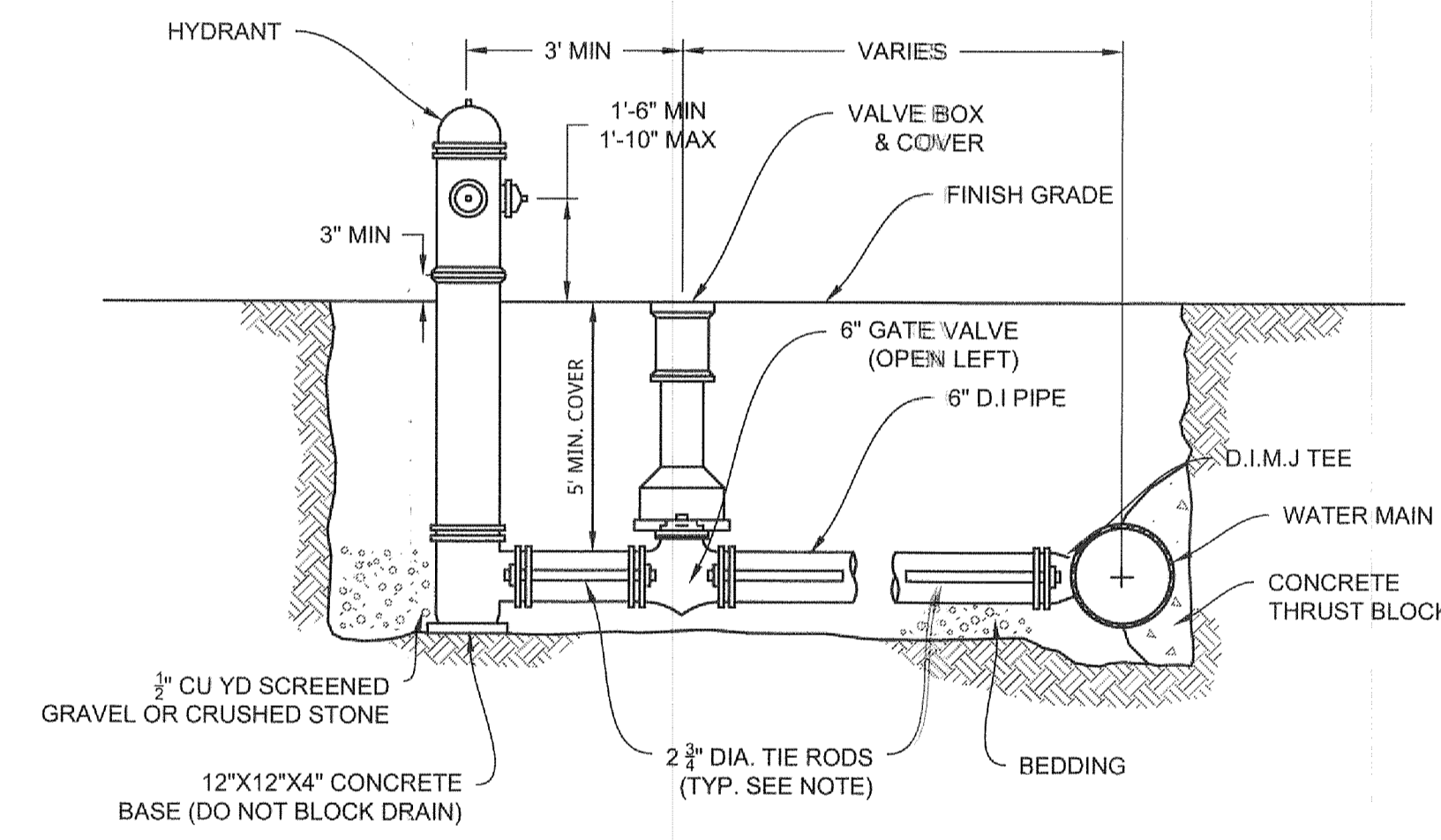


- NOTES:**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
  - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
  - CONCRETE SHALL BE 3000 PSI-TYPE I.

**2 CONCRETE THRUST BLOCK**  
NOT TO SCALE

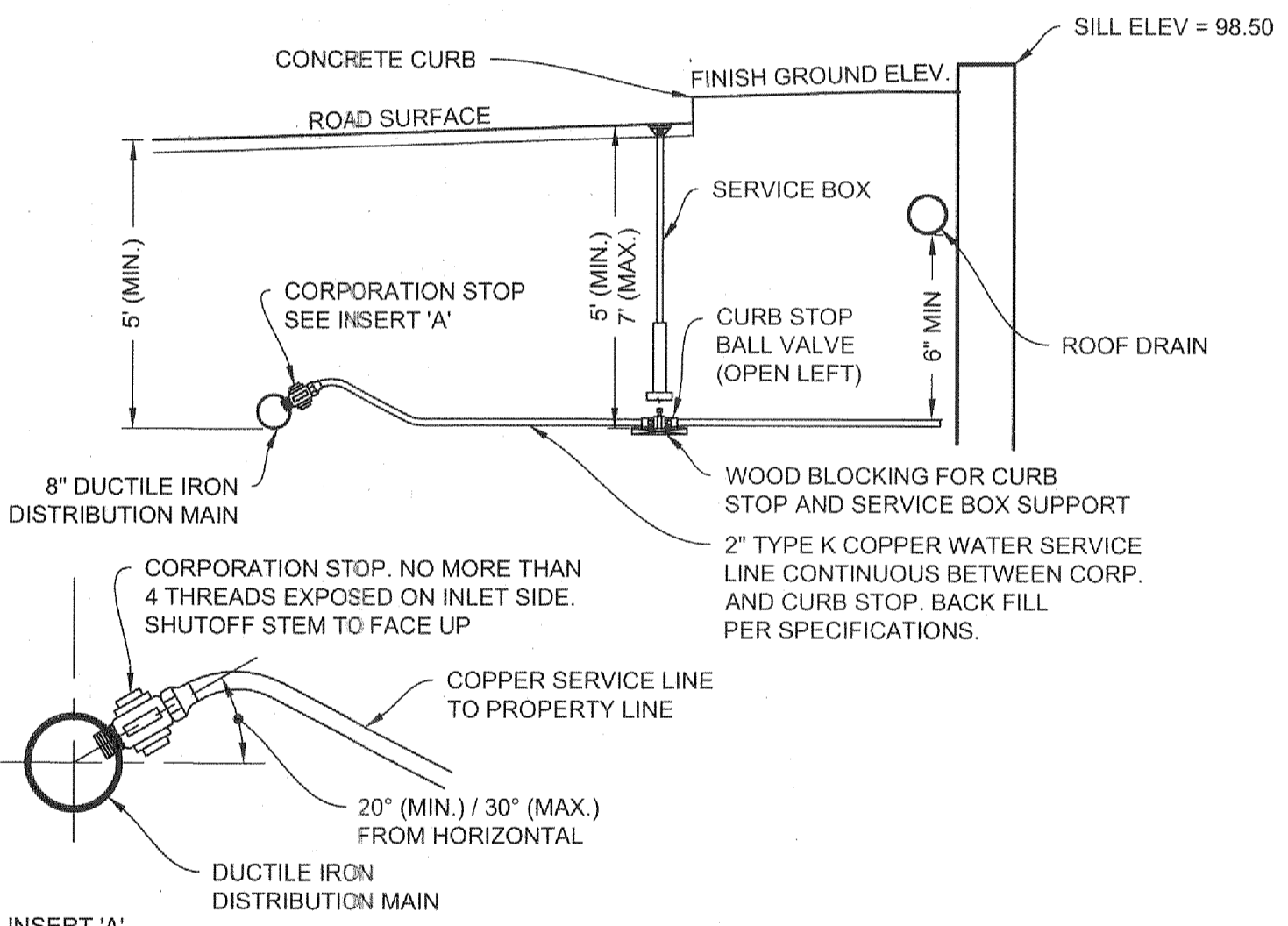


**3 TYPICAL E/ONE PUMP AND BALLAST INSTALLATION**  
NOT TO SCALE

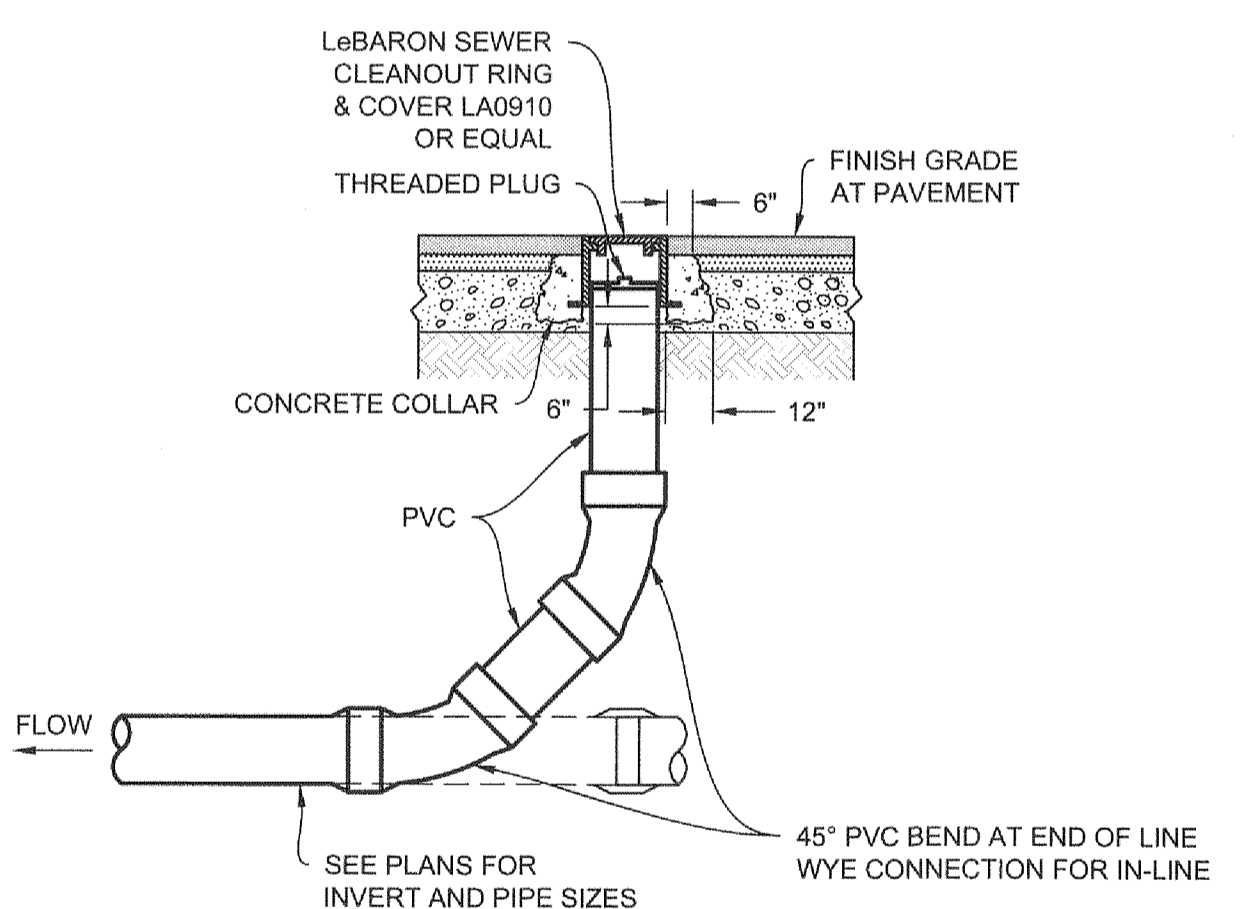


- NOTES:**
- CONTINUE TIE RODS TO MAIN OR AT LEAST 20' ALONG HYDRANT LATERAL.
  - HYDRANT AND VALVE TO OPEN LEFT

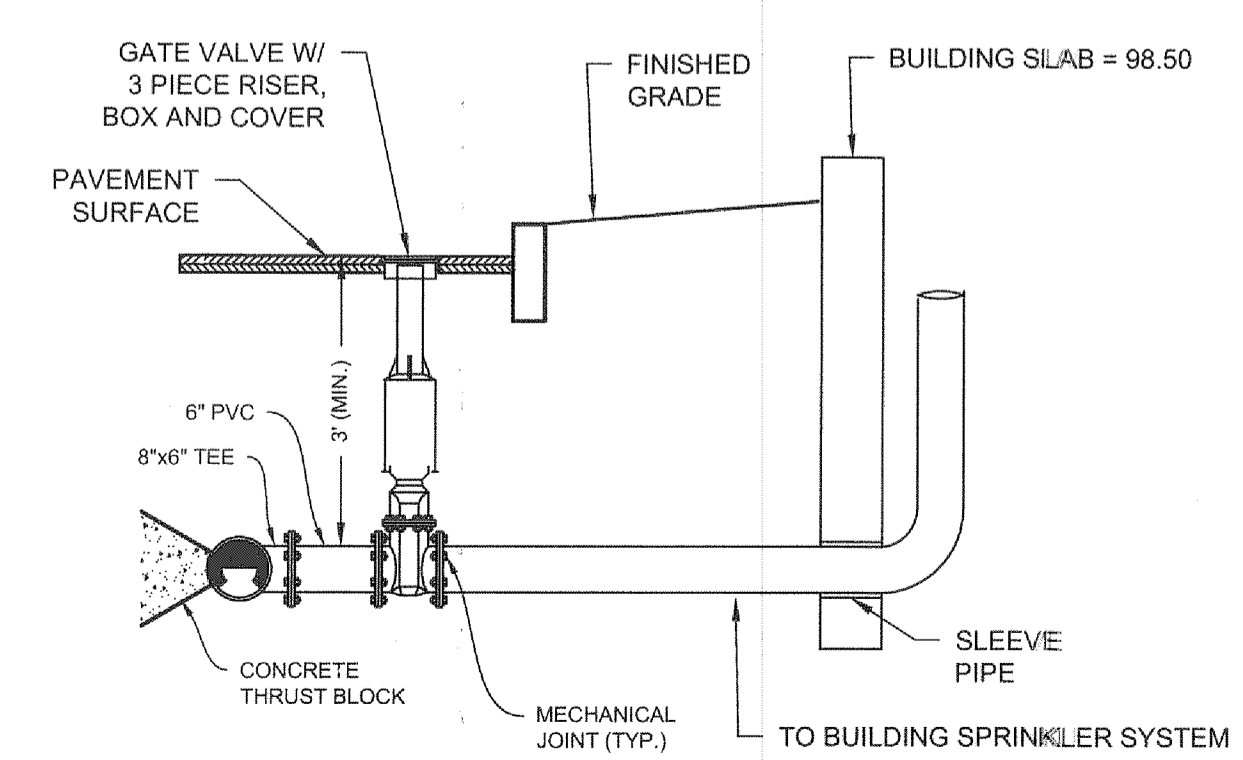
**4 HYDRANT**  
NOT TO SCALE



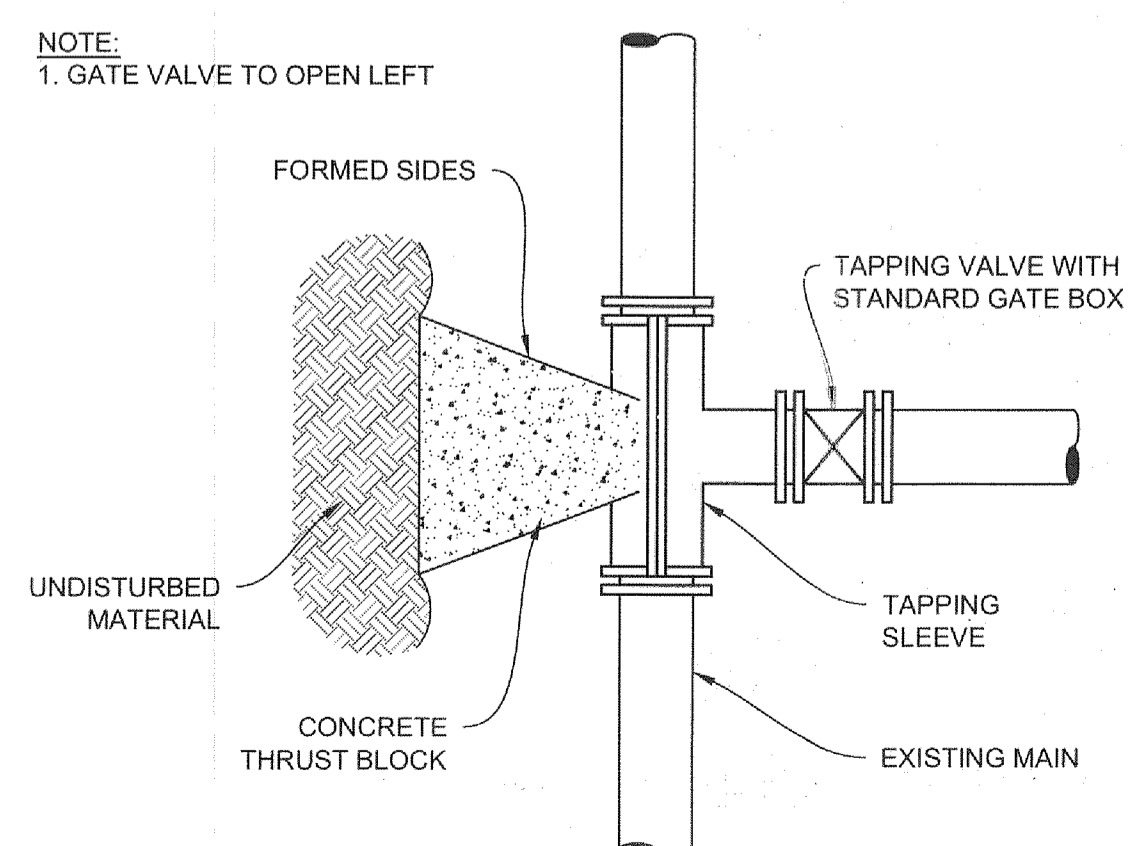
**5 WATER SERVICE INSTALLATION**  
NOT TO SCALE



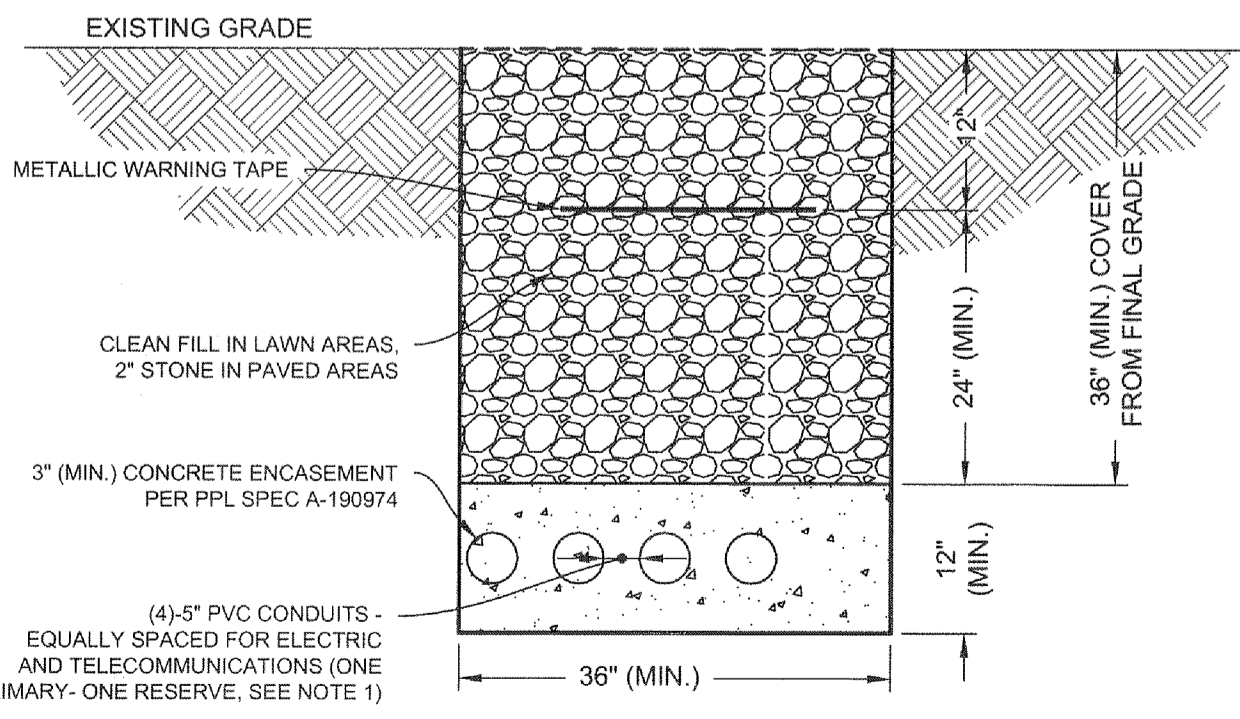
**6 SEWER CLEANOUT - PAVED AREA**  
NOT TO SCALE



**7 SPRINKLER CONNECTION DETAIL**  
NOT TO SCALE

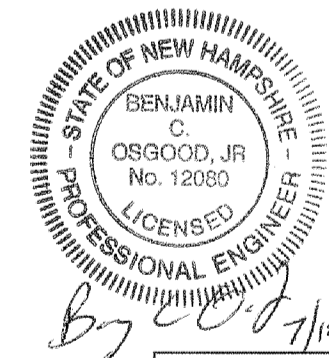


**8 TAPPING SLEEVE & VALVE CONNECTION**  
NOT TO SCALE



- NOTE:**
- ADD ONE ADDITIONAL 5\"/>

**9 ELECTRIC/ TELECOMMUNICATION DUCT BANK**  
NOT TO SCALE



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

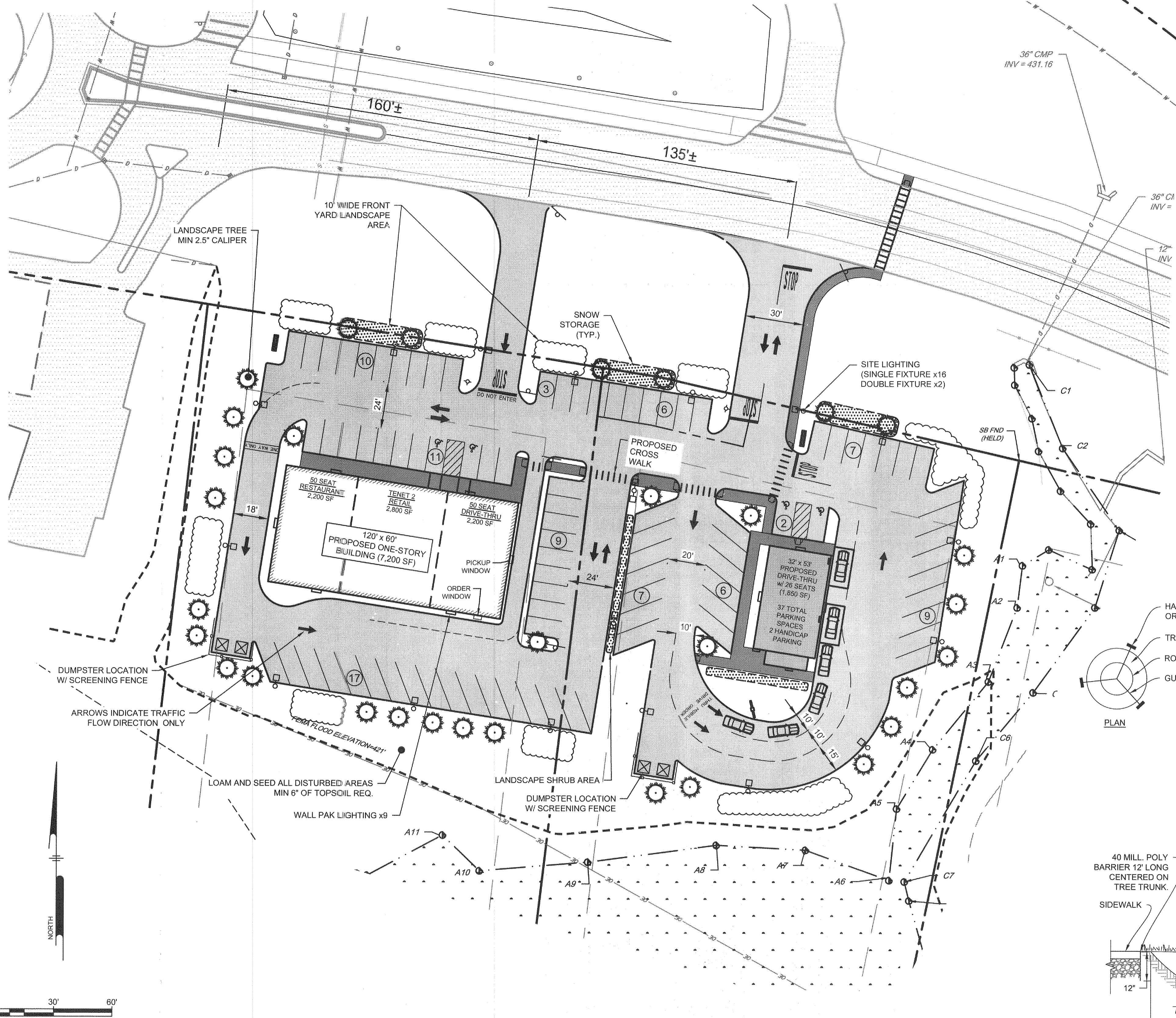
**UTILITY DETAILS**  
CS6051

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

PROJECT STATUS: PLOTTED: 7/10/2020 1:35 PM BY: C:\ranger\pub\ppl\plans\cs6051.dwg

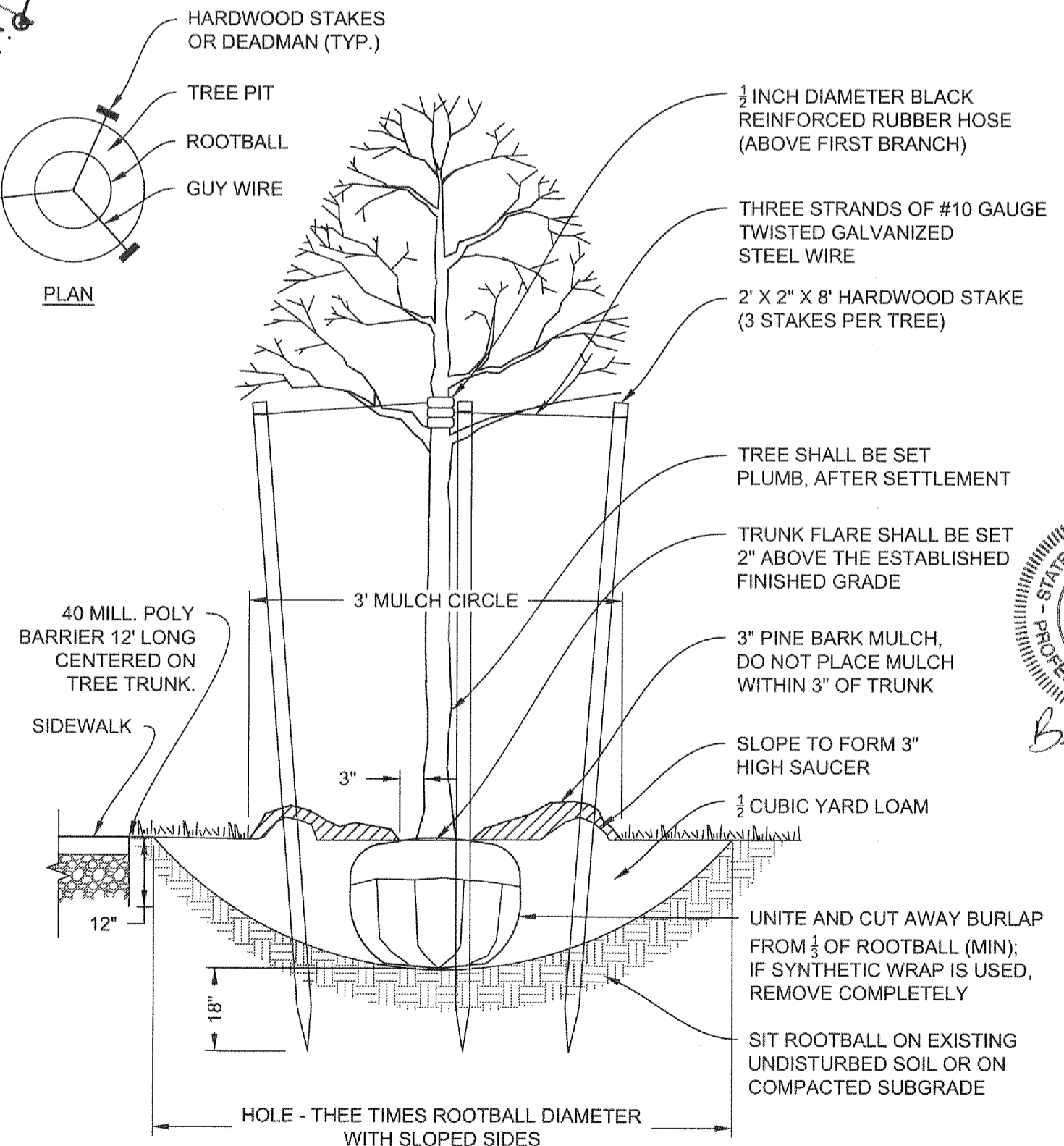




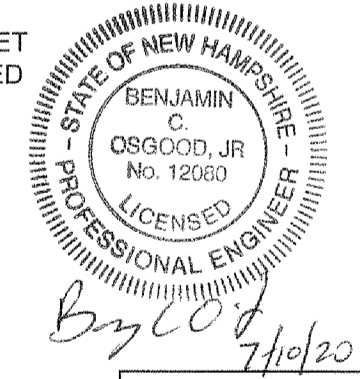
WETLAND SEED MIX		
COMMON NAME	AMOUNT	SUPPLIER
NEW ENGLAND CONSERVATION/WILDLIFE MIX	1.0 LB./1750 S.F.	NEW ENGLAND WETLAND PLANTS, INC

APPROVED TREE SPECIES		
SCIENTIFIC NAME	COMMON NAME	
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	
PICEA GLAUCA	WHITE SPRUCE	
JUNIPERUS VIRGINIANA	RED CEDAR	
ACER RUBRUM	RED MAPLE	
QUERCUS RUBRA	CRAB APPLE	
QUERCUS ALBA	WHITE OAK	
PINUS STROBUS	WHITE PINE	

APPROVED SHRUB SPECIES		
SCIENTIFIC NAME	COMMON NAME	
VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	
SPIREA BETULIFOLIA	WHITE SPIREA	
ILEX GLABRA	EVERGREEN WINTERBERRY	
RHODODENDRON FERRUGINEUM	RHODODENDRON	
BUXUS MICROPHYLLA	WINTERGEM BOXWOOD	
CORNUS ALTERNIFOLIA	ALTERNATE LEAVED DOGWOOD	



1 TREE PLANTING (FOR 2" CALIPER 12' TALL TREES)  
NOT TO SCALE



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
**ROUTE 103 WEST, WARNER NH,**  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**LANDSCAPE & LIGHTING PLAN**  
 CS7001

**Ranger Engineering Group, Inc.**  
 13 Branch Street, Suite 101  
 Methuen, MA 01844  
 Tel: 978-208-1762  
 rangereng.com

**PERFORMANCE SPECIFICATIONS**

- CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
- AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/WILDLIFE MIX. A MINIMUM 6" OF TOPSOIL IS REQUIRED.
- UPON COMPLETION OF PAVING AND ALL SITE WORK, OPEN SPACE AREAS ARE TO BE MULCHED/SEEDED AND LANDSCAPE PLANTS/SHRUBS ARE TO BE PLANTED.
- WITHIN ONE YEAR OF PLANTING, ALL DEAD, DYING, OR DISEASED VEGETATION SHALL BE PROMPTLY REPLACED, BASED ON SEASONAL PLANTING PRACTICES, WITH HEALTHY PLANTS IN ALL REQUIRED LANDSCAPE AREAS.

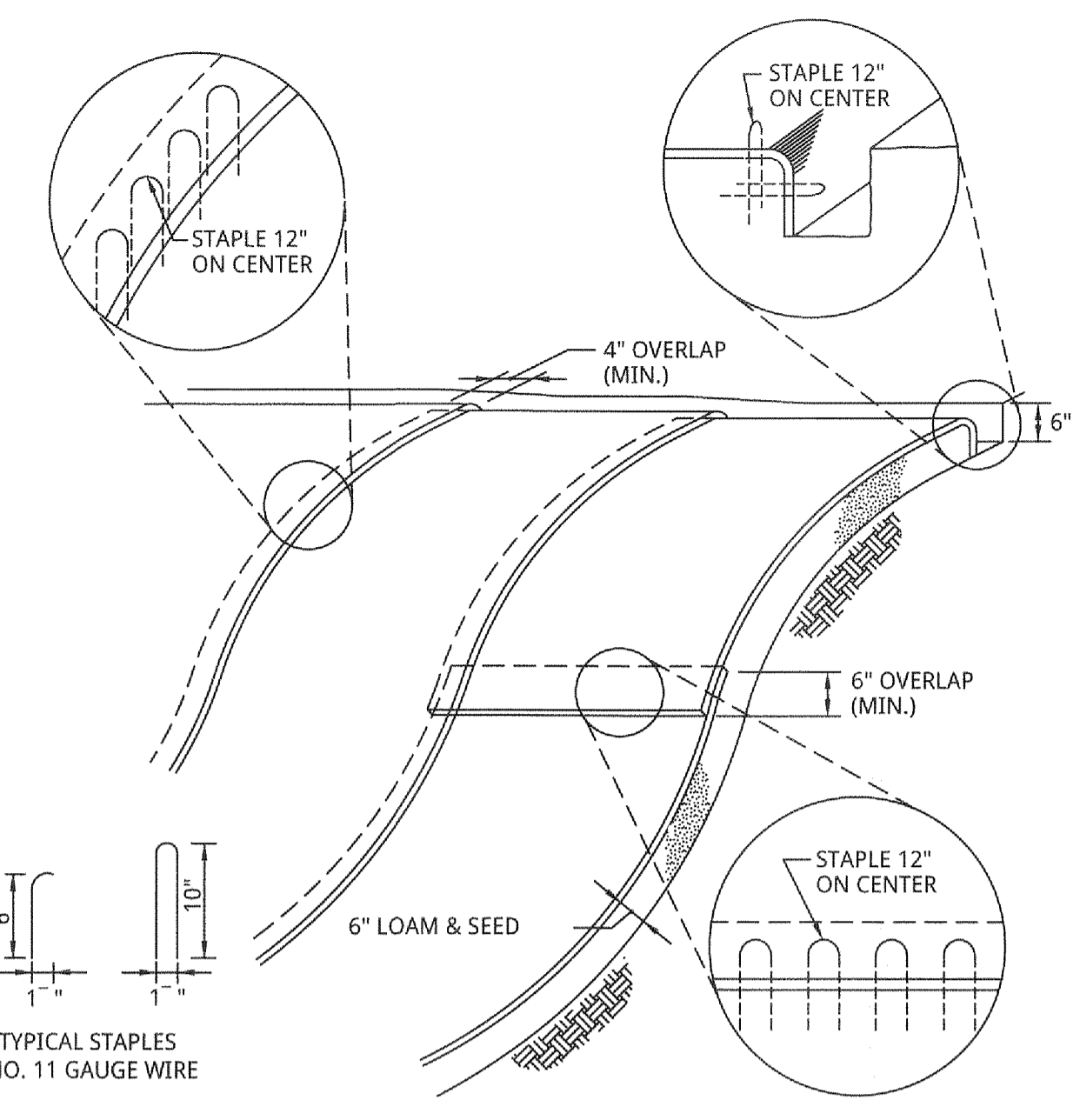
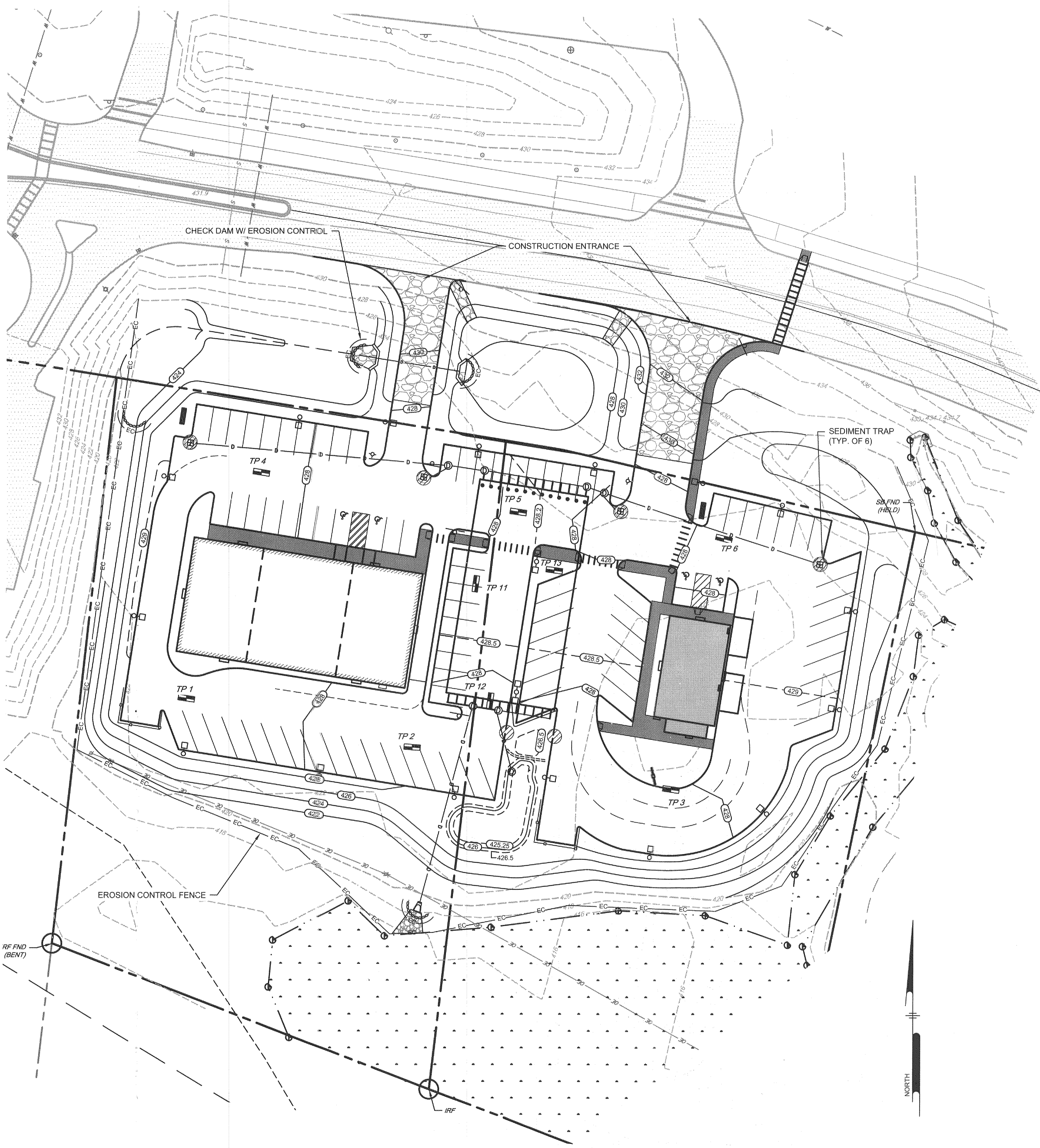
**LANDSCAPE NOTES:**

- A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA.
- DECIDUOUS TREES SHALL BE MIN 2.5" CALIPER AND 12' IN HEIGHT.
- EVERGREEN TREES SHALL BE MIN 8' TALL.
- SHRUBS SHALL BE MIN 2' TALL.
- LOAM AND SEED ALL DISTURBED AREAS TO A MIN DEPTH OF 4". RE-USE TOPSOIL WHERE APPLICABLE.
- WHERE SLOPES ARE 33% OR GREATER, DEEP ROOTED SPECIES SHALL BE PLANTED TO PREVENT EROSION.
- 

WARNER PLANNING BOARD CHAIRMAN:  
 \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLOTTED: 7/10/2020 1:58 PM BY: Oni Reiter PROJECT STATUS: ---  
 PLOT STYLE: T11 Em MCS.dwg  
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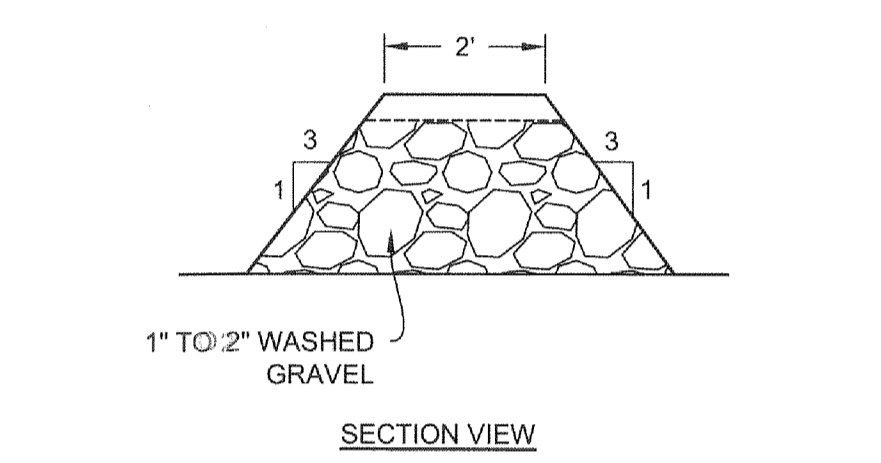
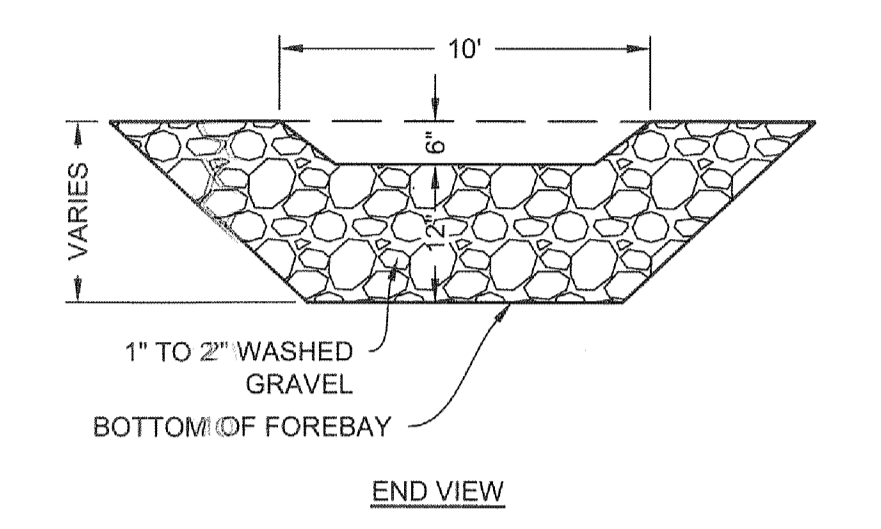


**Notes:**

- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- WHEN BLANKETS MUST BE SPICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
- METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
- EROSION CONTROL BLANKET SHALL NOT CONTAIN PLASTIC MESH. NATURAL FIBER BIODEGRADABLE MESH SHALL BE USED

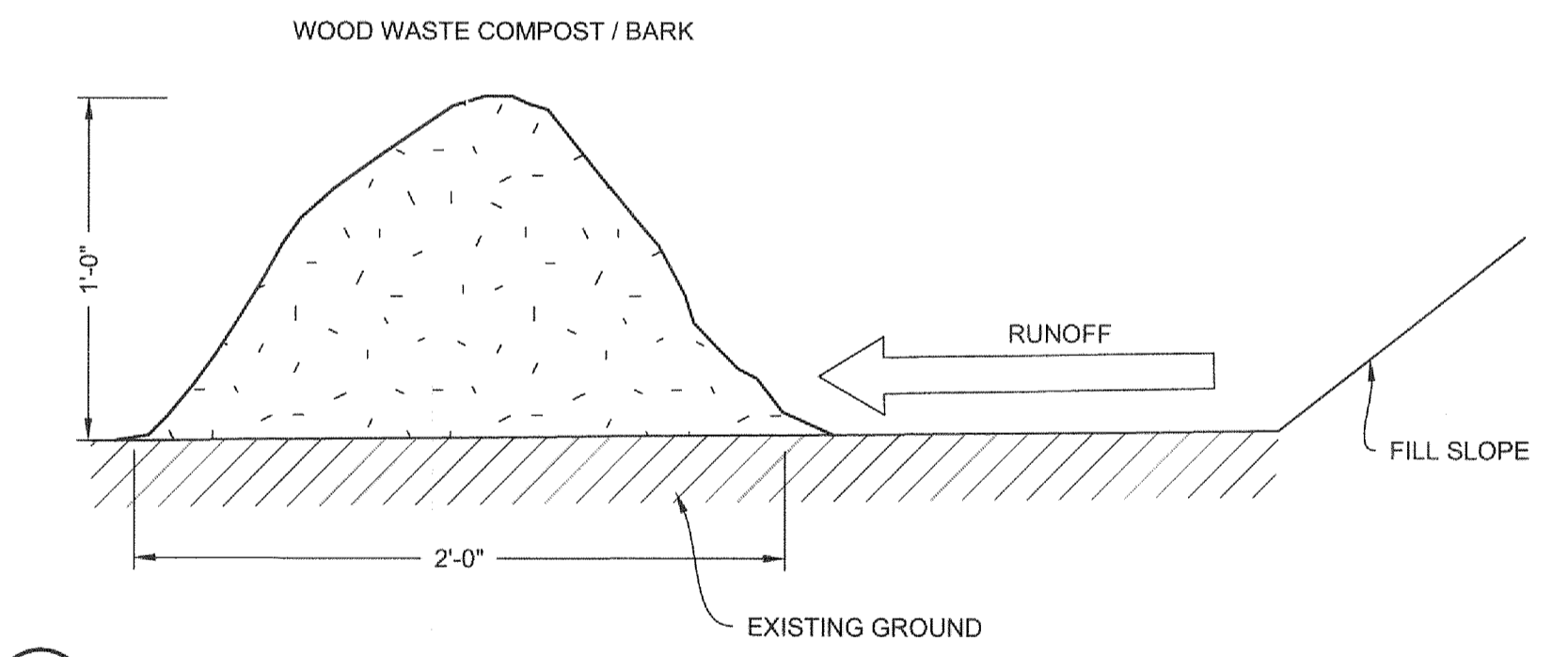
**LEGEND**

- CHECK DAM WITH EROSION CONTROL
- EC EC EROSION CONTROL FENCE/SILT SOCK
- SILT/SEDIMENT RAP
- CONSTRUCTION ENTRANCE



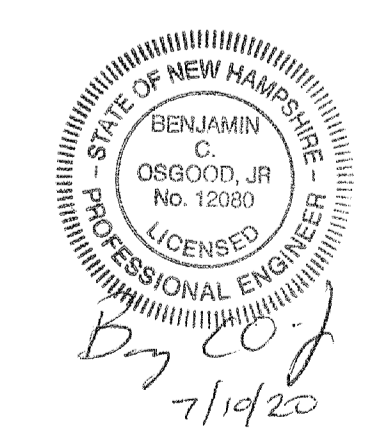
**2 TEMPORARY CHECK DAM DETAIL**  
NOT TO SCALE

**1 EROSION CONTROL BLANKET**  
NOT TO SCALE



**3 WOODCHIP BERM**  
NOT TO SCALE

DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO



**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EROSION CONTROL PLAN**  
CS8001

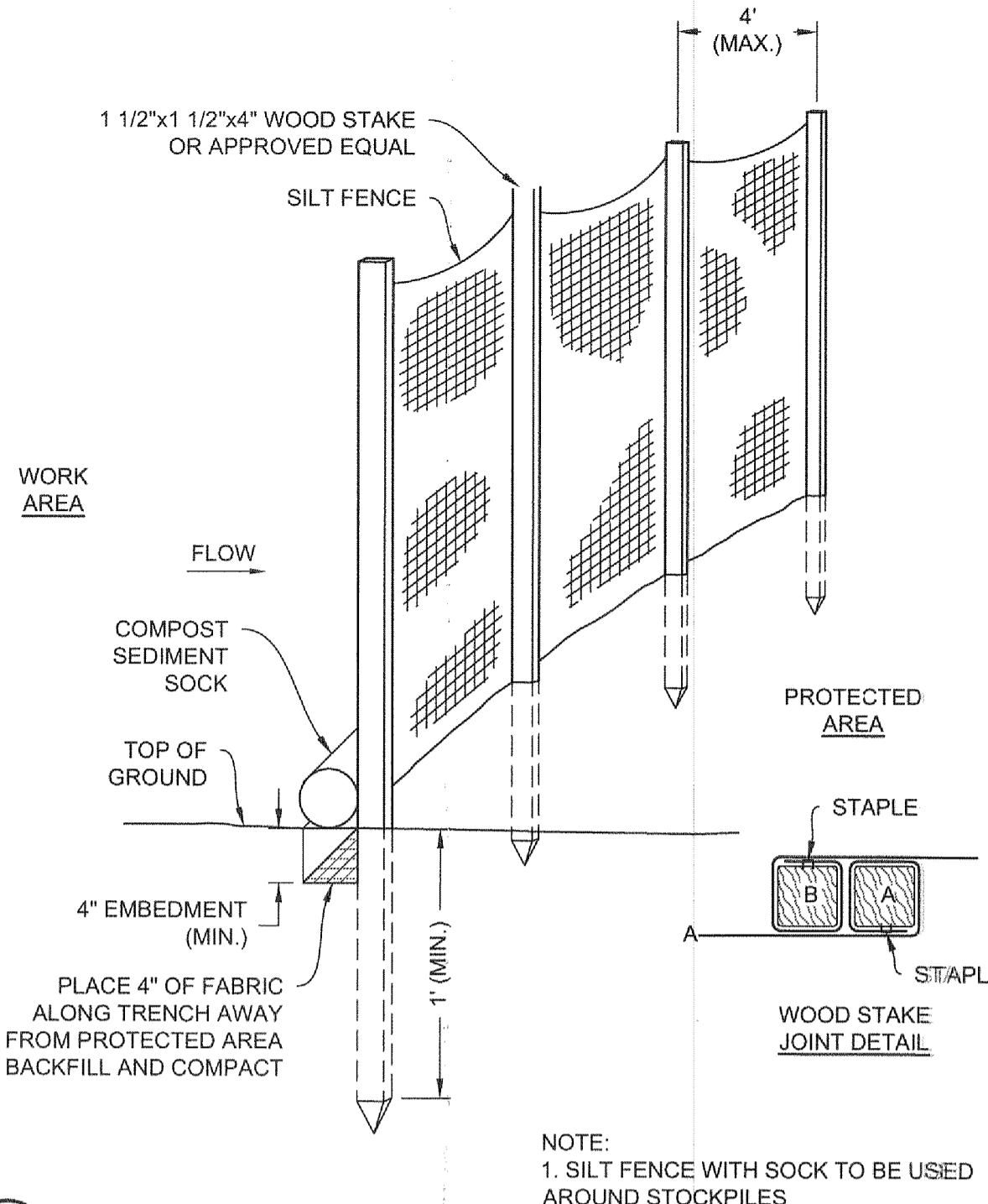
**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

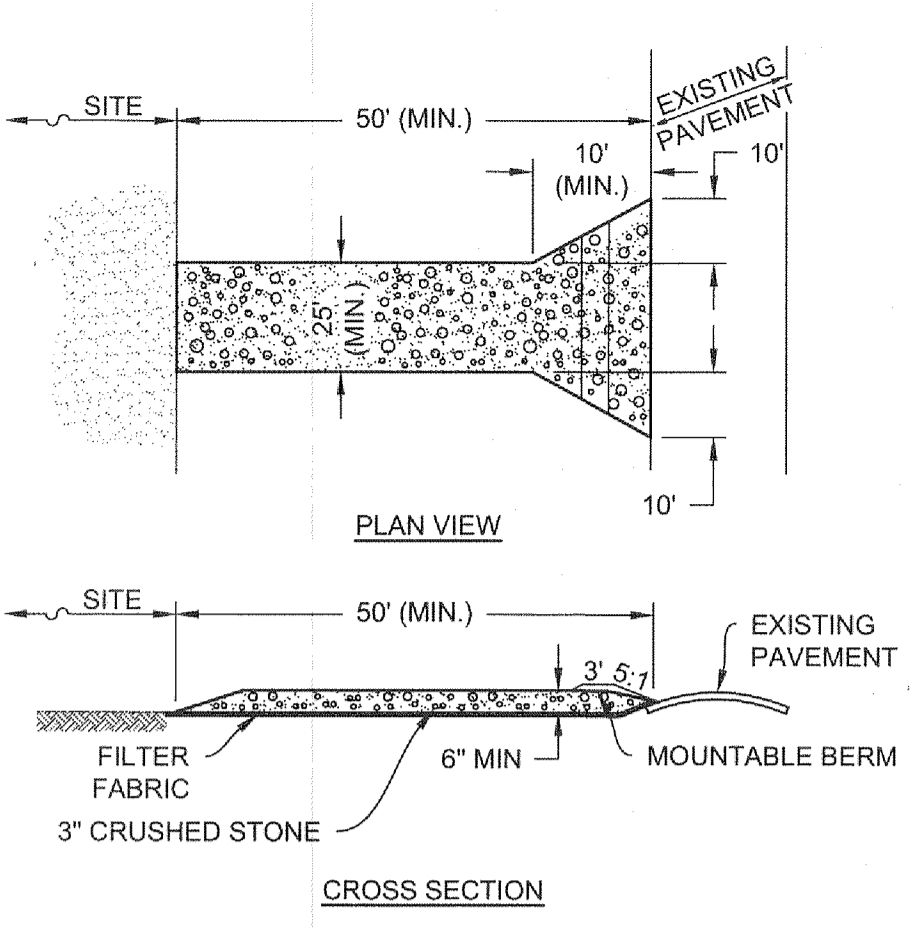
DATE:

CONPROJECTS@GMAIL.COM CHANNEL BUILDING 1614 Warner Engineering, PUBLISHING: WASTECS8001.dwg  
 PLOTTED: 7/10/2020 1:38 PM BY: C. Osgood PROJECT STATUS:



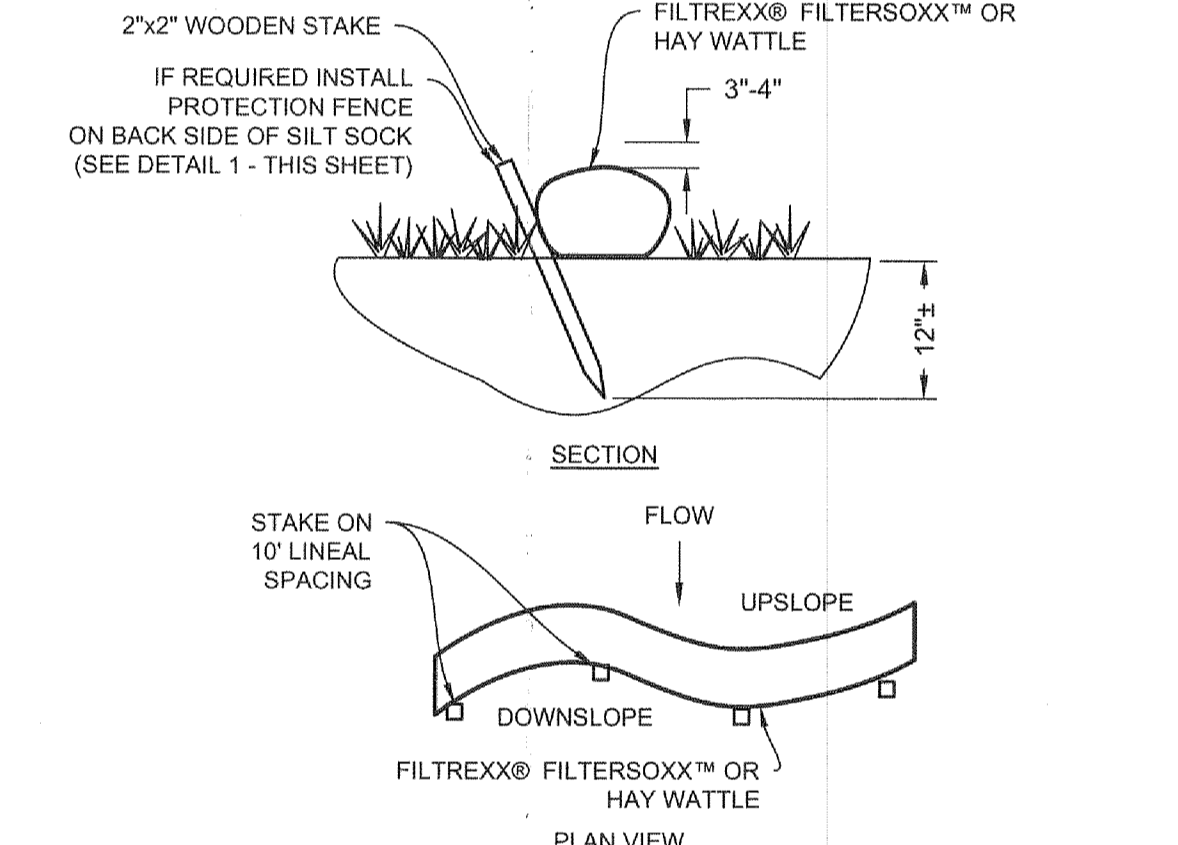


1 SILT FENCE BARRIER  
NOT TO SCALE



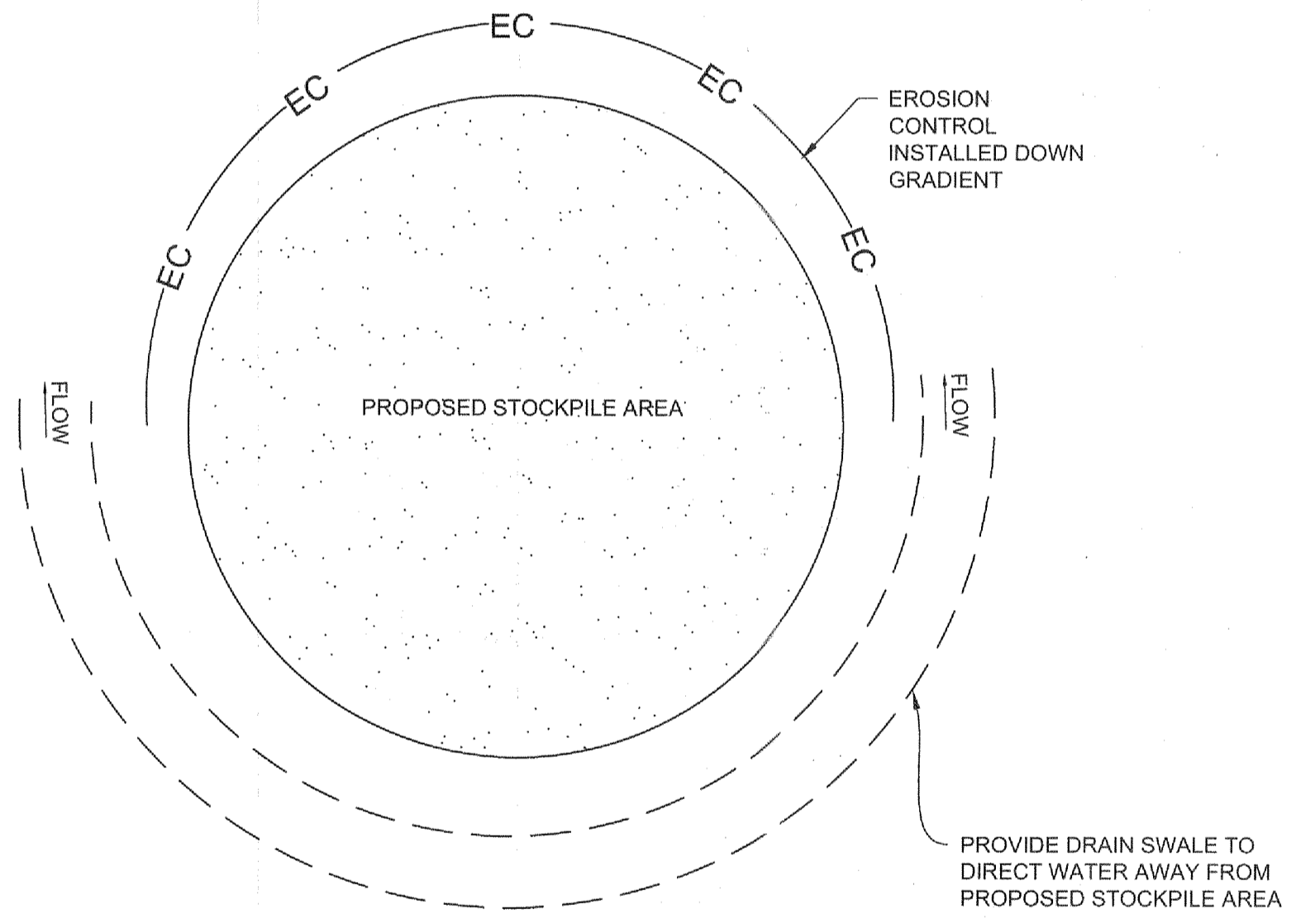
- NOTES:
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

2 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

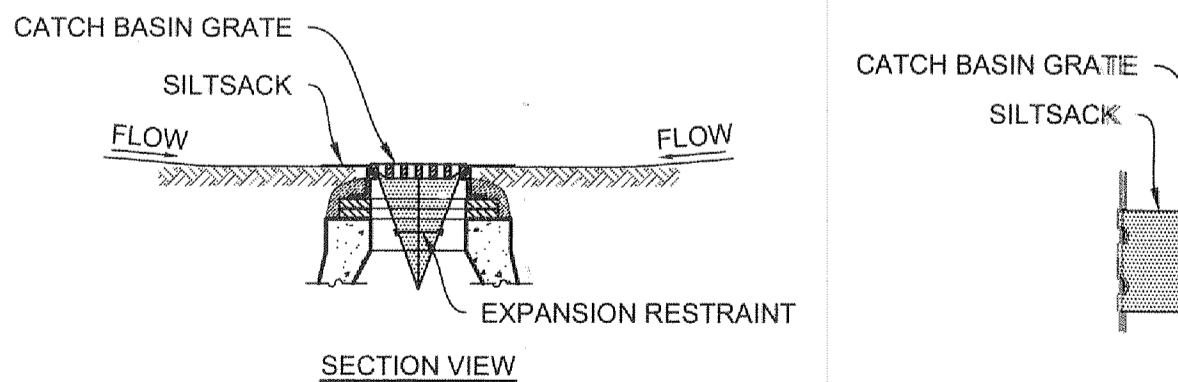


- NOTES:
- ALL MATERIALS TO MEET FILTREXX® SPECIFICATIONS.
  - FILTREXX™ COMPOST/SEED FILL TO MEET APPLICATION REQUIREMENTS.
  - COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

3 SEDIMENT SOCK / HAY WATTLE DETAIL  
NOT TO SCALE

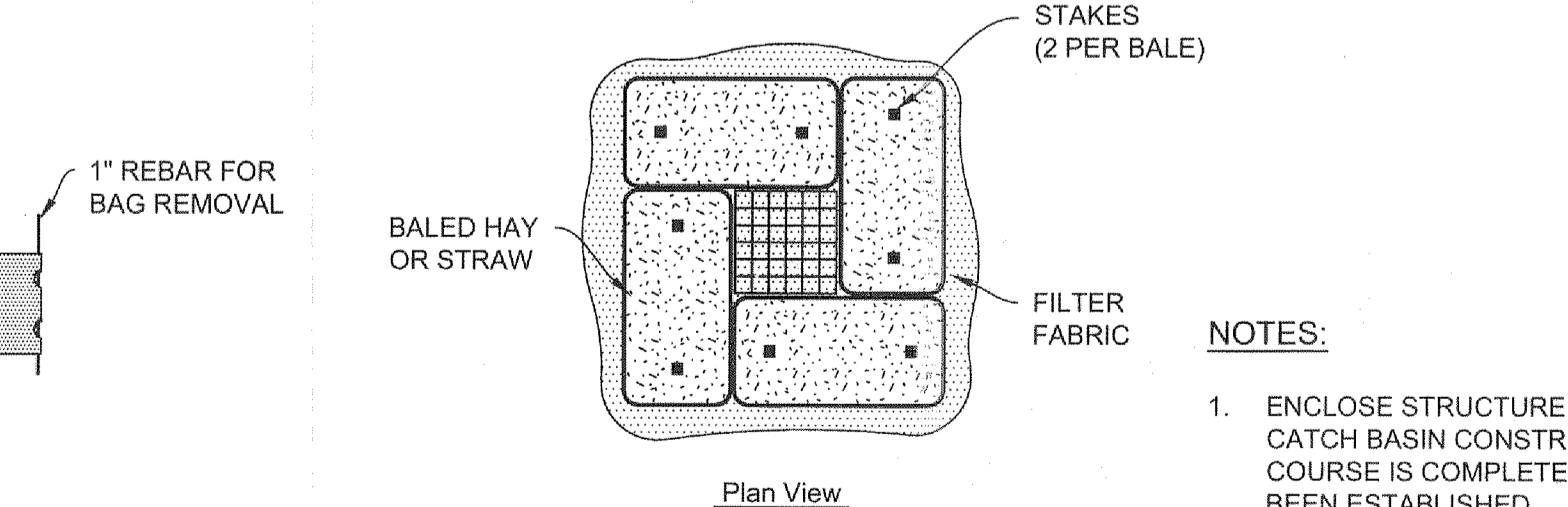


4 STOCKPILE PROTECTION  
NOT TO SCALE



- NOTES:
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILTSACK.
  - SILTSACK SHALL BE INSPECTED WEEKLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

5 SILTSACK SEDIMENT TRAP  
NOT TO SCALE



- NOTES:
- ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
  - IF GRATE IS AGAINST EXISTING CURB THEN HAY BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
  - GRATE TO BE PLACED OVER FILTER FABRIC.
  - BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

6 CATCH BASIN SEDIMENT TRAP  
NOT TO SCALE

CONSTRUCTION SEQUENCE NOTES:

- INSTALL EROSION AND SEDIMENT CONTROLS AS SHOWN ON PLAN.
- COMMENCE CLEARING, GRUBBING AND EARTHWORK.
- CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING EARTHWORK.
- INSTALL BUILDING FOUNDATION.
- INSTALL SITE DRAINAGE AND UTILITIES.
- FILL SITE TO SUBGRADE.
- CONSTRUCT PAVED AREA BASE COURSES.
- STABILIZE SIDE SLOPES. SIDE SLOPES MUST BE FULLY STABILIZED BEFORE ANY STORMWATER DISCHARGE.
- DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF THE ESTABLISHMENT OF FINAL GRADE.
- CONSTRUCT BUILDING.
- FINAL PAVING OF DRIVEWAY AND PARKING AREAS.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES.
- INSTALL SITE LANDSCAPING AND PERMANENT SEEDING OF ALL DISTURBED AREAS.
- AFTER ALL SEEDED AREAS HAVE ESTABLISHED STABLE GROWTH, ALL TEMPORARY EROSION CONTROL CAN BE REMOVED.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL AUTHORITIES RESPONSIBLE FOR INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED INSPECTION SIGN-OFFS.

OPERATION AND MAINTENANCE:

CONSTRUCTION PHASE

THE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE CONTRACTOR, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL PHYSICALLY MARK THE LIMITS OF NO LAND DISTURBANCE ON THE SITE AND INSTALL PERIMETER CONTROLS.
- THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS.
- PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOWN ON ABOVE PLAN ARE TO BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYSTEM DURING CONSTRUCTION, THE CONTRACTOR IS TO INSTALL AND MAINTAIN INLET PROTECTION AT ALL CATCH BASINS, AND SET A SILT FENCE OR SEDIMENT SOCK AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY CONTROLS SHALL BE INSTALLED TO REDUCE DUST AND SEDIMENT TRANSPORT.
- CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY DESIGN ENGINEER TO VERIFY CONFORMANCE TO THE DESIGN PLAN.
- THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:
  - CLEAR, GRUB, EXCAVATE AREAS FOR DRAINAGE SYSTEMS.
  - TRENCH AND INSTALL PIPES, CATCH BASINS MANHOLES
  - INSTALL INLET PROTECTION.
- EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS OR AFTER EVERY HALF INCH OF RAIN FALL. UPON DISCOVERY OF SILT BUILD-UP IN ANY CATCH BASIN SUMPS, OR ANY OTHER STRUCTURES, THEY ARE TO BE CLEANED.
- ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY OR JUTE BLANKETS-AS NEEDED FOR SLOPES STEEPER THAN 3:1.
- TEMPORARY WATER DIVERSION MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
  - DITCHES AND SWALES SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM.
  - ROADWAYS AND PARKING LOTS SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM.
  - CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
- AFTER PAVING IS INSTALLED, IT SHALL BE SWEEPED CLEAN ON A REGULAR BASIS.
- IF DEWATERING IS NECESSARY DURING CONSTRUCTION, THE WATER WILL BE TREATED FOR TOTAL SUSPENDED SOLIDS (TSS) REMOVAL PRIOR TO DISCHARGE TO RECEIVING WATER.

POST-DEVELOPMENT PHASE

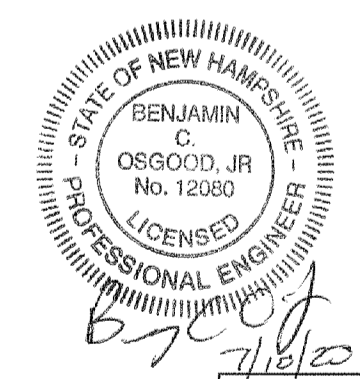
- THE OWNER(S) IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT - INCLUDING ROOF DRAINS, DRAIN PIPES, CATCH BASINS, AND DRAIN MANHOLES.
- REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:
- INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, PIPES, OUTLET CONTROL STRUCTURES, AND DETENTION BASINS) EVERY THREE MONTHS. DURING THESE INSPECTIONS, THE INSPECTOR (A REGISTERED PROFESSIONAL CIVIL ENGINEER QUALIFIED IN DRAINAGE SYSTEMS) SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS AND OUTLET CONTROL STRUCTURES), AND IMPROPER FUNCTION. A REPORT ON THE SYSTEM SHALL BE DELIVERED TO THE OWNER.
  - AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR SHALL NOTIFY THE OWNER, WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND/OR SEDIMENT REMOVAL.
  - ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPON DISCOVERY OF ANY FAILURE (IE. EROSION), LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
  - DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOW MELT IS CONTROLLED WITHIN THE PAVED AREA.

WINTER CONSTRUCTION SEQUENCE NOTES:

- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3-4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORING NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE FLOW.
- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3

EROSION CONTROL NOTES (DURING CONSTRUCTION)

- THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND IN THE DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTALLED AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- EROSION CONTROLS AS SHOWN ON PLANS SHALL BE INSPECTED, REPAIRED AND/OR MAINTAINED BY THE CONTRACTOR DAILY AND WITHIN 12 HOURS OF EACH STORM EVENT.
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR SEDIMENT SOCK.
- SEDIMENT SHALL BE CONTAINED WITHIN THE CONSTRUCTION SITE, AWAY FROM DRAINAGE STRUCTURES. SEDIMENT REACHING THE PUBLIC WAY SHALL BE REMOVED BY STREET SWEEPING AND NOT BY FLUSHING.
- STABILIZE SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, OR ROCK RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
- CLEAN OUT CATCH BASINS, DRAIN MANHOLES AND STORM DRAIN PIPES AFTER COMPLETION OF CONSTRUCTION.
- LOAM AND SEED ALL DISTURBED AREAS. PERMANENT SEEDING SHALL OCCUR IN THE SPRING FROM LATE MARCH THROUGH MAY AND IN LATE SUMMER OR EARLY FALL BETWEEN AUGUST AND OCTOBER.
- DUST SHALL BE CONTROLLED AT THE SITE WITH MECHANICAL WATER SPRAYING AS NECESSARY AND DURING EXTENDED DRY PERIODS.
- UPON ESTABLISHMENT OF PERMANENT VEGETATION OVER DISTURBED AREAS, REMOVE AND DISPOSE OF STRAW WATTLES AND STAKES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND SUPPLEMENT THE SPECIFIED SEDIMENTATION CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION OF OFF-SITE AREAS AND/OR ANY REGULATED RESOURCE AREAS. FAILURE BY THE CONTRACTOR TO CONTROL EROSION, POLLUTION AND/OR SILTATION SHALL BE CAUSE FOR THE OWNER TO EMPLOY OUTSIDE ASSISTANCE OR TO USE HIS OWN MEANS TO PROVIDE THE NECESSARY CORRECTIVE MEASURE. THE COST OF SUCH ASSISTANCE PLUS PROJECT ENGINEERING COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL CHECK THE CONDITION OF EROSION CONTROLS WEEKLY TO KEEP THEM IN GOOD OPERATING CONDITION. EROSION CONTROLS SHALL ALSO BE INSPECTED, REPAIRED AND MAINTAINED BY THE CONTRACTOR WITHIN 12 HOURS OF ANY STORM EVENT PRODUCING 1/2 INCH OF RAINFALL OR MORE. EROSION CONTROLS SHALL BE REPLACED WHEN DETERIORATED, OR WHEN ORDERED BY THE ENGINEER. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 6 INCHES.
- IN ADDITION TO THOSE LOCATIONS SHOWN ON THIS PLAN AND ON THE GRADING AND DRAINAGE PLANS, EROSION CONTROLS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: TOE OF SLOPE OF EMBANKMENT CONSTRUCTION, TOE OF TEMPORARY EARTHWORK STOCKPILES. STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
- EROSION AND SEDIMENTATION CONTROL SHALL BE IN COMPLIANCE WITH MASSACHUSETTS STORMWATER POLICY.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION BUT IN NO CASE EXCEED 2.75 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED
- ALL AREAS SHALL BE STABILIZED WITHIN 90 DAYS OF INITIAL DISTURBANCE



DATE	NO.	REVISIONS	BY
07/10/2020	1	FINAL REVIEW COMMENTS	BCO

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, ILLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EXISTING CONDITIONS PLAN**  
CS8501

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:

PLOTTED: 7/10/2020 1:38 PM BY: C:\Ranger - Warner\DESIGN - PUBLISH\ANSI\CSD8501.dwg  
 PROJECT STATUS: -  
 PLOT STYLE: T11.dwg, ncs.ctb